



Development Permit and Development Variance Permit Applications

Date: September 18, 2024

Referral Form – RDCK File DP2407J and V2415J

You are requested to comment on the attached DEVELOPMENT PERMIT for potential effect on your agency’s interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO OCTOBER 19, 2024). If no response is received within that time, it will be assumed that your agency’s interests are unaffected.

LEGAL DESCRIPTION & GENERAL LOCATION:

50 Old Mill Road, Raspberry, Electoral Area ‘J’
 LOT 2 DISTRICT LOT 237 KOOTENAY DISTRICT PLAN EPP71075 (PID: 030-632-439)

PRESENT USE AND PURPOSE OF PERMIT REQUESTED:

The subject property is a 1 hectare lot that is bordered by Robson Access Road to the north, Old Mill Road to the south, and adjacent Industrial properties to the east and west. The property is currently being used as a storage yard for heavy equipment, machinery and trucks. A Development Permit (DP) and Development Variance Permit (DVP) application are being considered concurrently.

The purpose of the Development Permit application is to facilitate the construction of “card lock” style fueling station on a portion of the subject property. The development plans submitted by the applicant indicate that a 0.4 hectare area of the 1 hectare lot will be utilized for the fuelling station while the remainder of the site will be utilized by another party for the ongoing storage of machinery and equipment. The overall objective of this development permit area is to ensure that new commercial, industrial or multi-family development is compatible with its surrounding residential and rural character, that it be aesthetically pleasing and environmentally sensitive.

The DVP application seeks to vary a number of regulations in *RDCK Zoning Bylaw No. 1675, 2004* in order to not provide any parking spaces, not surface the yard with asphalt or concrete and not provide landscaping/screening along the rear property line adjacent to Robson Access Road. The development plans indicate that the area surrounding the fuel pumps will be surfaced and will direct all drainage to a catch basin equipped with the appropriate oil-water separator infrastructure.

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING	OCP
Lot size: 1 hectare Area to be developed: 0.4 ha	N/A	Light Industrial (M1) in Zoning Bylaw No. 1675, 2004	Industrial (I) in Kootenay-Columbia Rivers Official Community Plan Bylaw No. 1157, 1996

APPLICANT: B A Benson & Son Ltd.

OTHER INFORMATION: ADVISORY PLANNING COMMISSION PLEASE NOTE:

If your Advisory Planning Commission plans to hold a meeting to discuss this Development Permit application, please note that the applicants must be provided with an opportunity to attend such meeting, in accordance with Section 461, subsection (8) of the *Local Government Act*, which reads as follows:

“If the commission is considering an amendment to a plan or bylaw, or the issue of a permit, the applicant for the amendment or permit is entitled to attend meetings of the commission and be heard.”

Please fill out the Response Summary on the back of this form. If your agency’s interests are ‘Unaffected’ no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this permit.

- MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
- HABITAT BRANCH (Environment)
- FRONTCOUNTER BC (MFLNRORD)
- AGRICULTURAL LAND COMMISSION
- REGIONAL AGROLOGIST
- CITY OF CASTLEGAR
- ARCHAEOLOGY BRANCH
- MUNICIPAL AFFAIRS & HOUSING
- INTERIOR HEALTH, HBE TEAM
- KOOTENAY LAKES PARTNERSHIP (FORESHORE DEVELOPMENT PERMITS)
- SCHOOL DISTRICT NO.
- WATER SYSTEM OR IRRIGATION DISTRICT
- UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)

REGIONAL DISTRICT OF CENTRAL KOOTENAY

DIRECTORS FOR:

- A B C D E F G H I J K

ALTERNATIVE DIRECTORS FOR:

- A B C D E F G H I J K

- APHC AREA 'J'
- RDCK FIRE SERVICES
- RDCK EMERGENCY SERVICES
- RDCK BUILDING SERVICES
- RDCK UTILITY SERVICES
- RDCK RESOURCE RECOVERY
- RDCK REGIONAL PARKS

INSERT COMMENTS ON REVERSE . . .

The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), info@rdck.bc.ca, or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

RESPONSE SUMMARY

FILE: DP2407J & V2415J APPLICANT: B A Benson & Son Ltd.

Name:

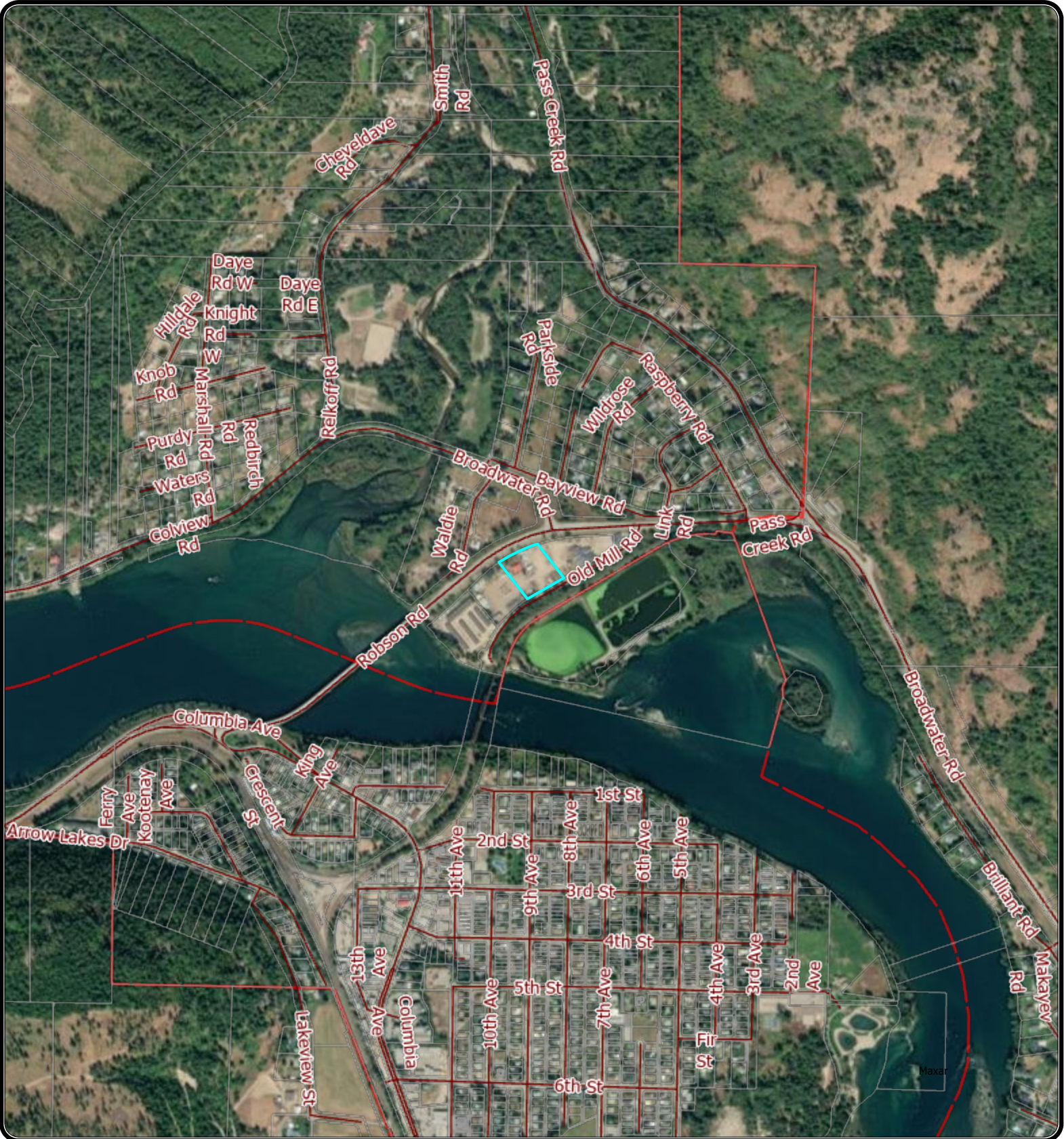
Date:

Agency:

Title:

RETURN TO: ZACHARI GIACOMAZZO, PLANNER
DEVELOPMENT AND COMMUNITY SUSTAINABILITY SERVICES
REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 LAKESIDE DRIVE
NELSON, BC V1L 5R4
Ph. 250-352-8190
Email: plandept@rdck.bc.ca

RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY
 Box 590, 202 Lakeside Drive,
 Nelson, BC V1L 5R4
 Phone: 1-800-268-7325 www.rdck.bc.ca
 maps@rdck.bc.ca

Legend

- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines

Map Scale:

1:18,056

Date: August 27, 2024







The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

RDCK Map



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Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

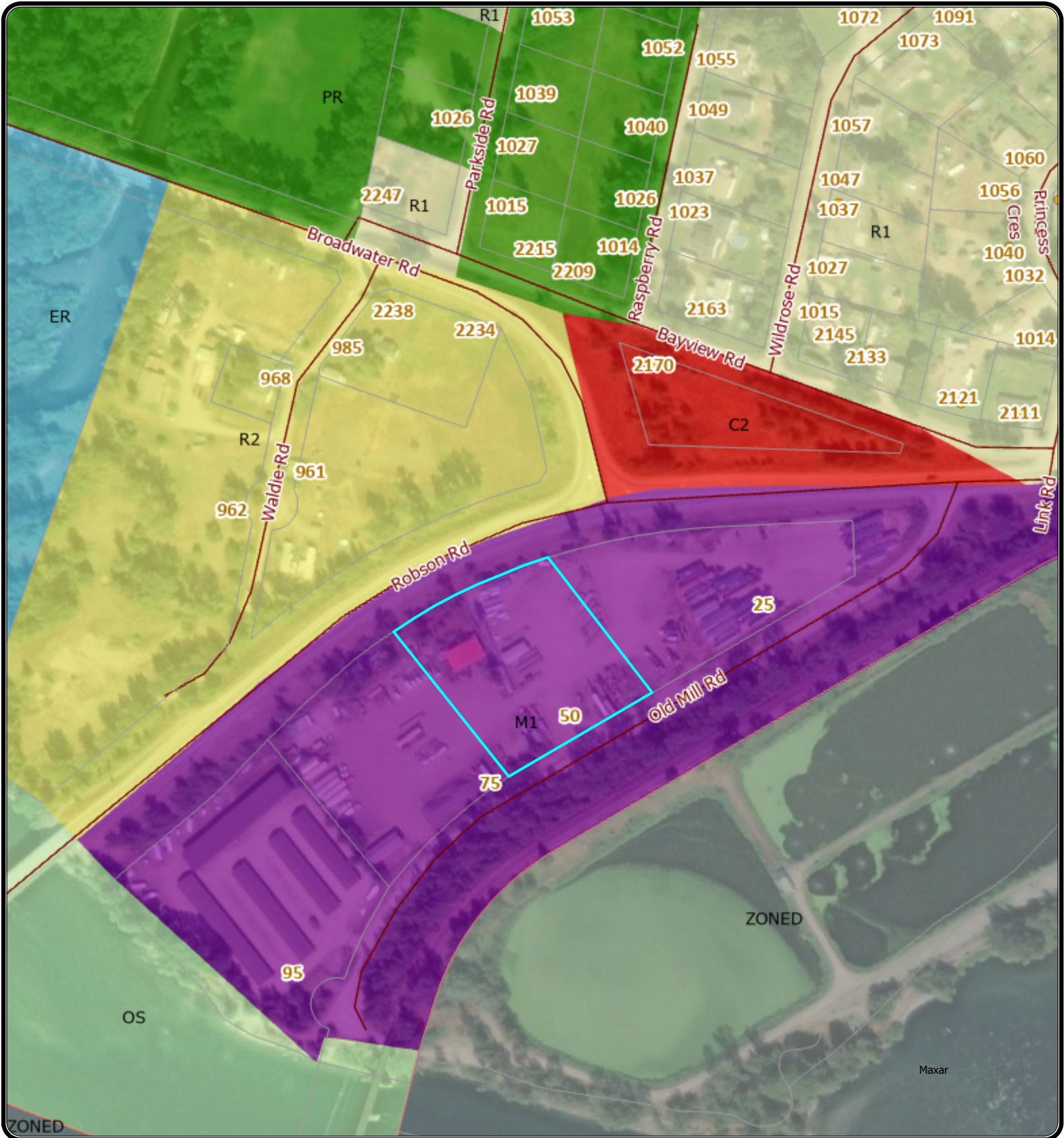
1:4,514

Date: August 27, 2024



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RDCK Map



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Zoning Class

- Commercial
- Environmental Reserve
- Industrial
- Open Space
- Parks and Recreation
- Residential 1
- Residential 2

Legend

- Zoned
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines
- Address Points

Map Scale:

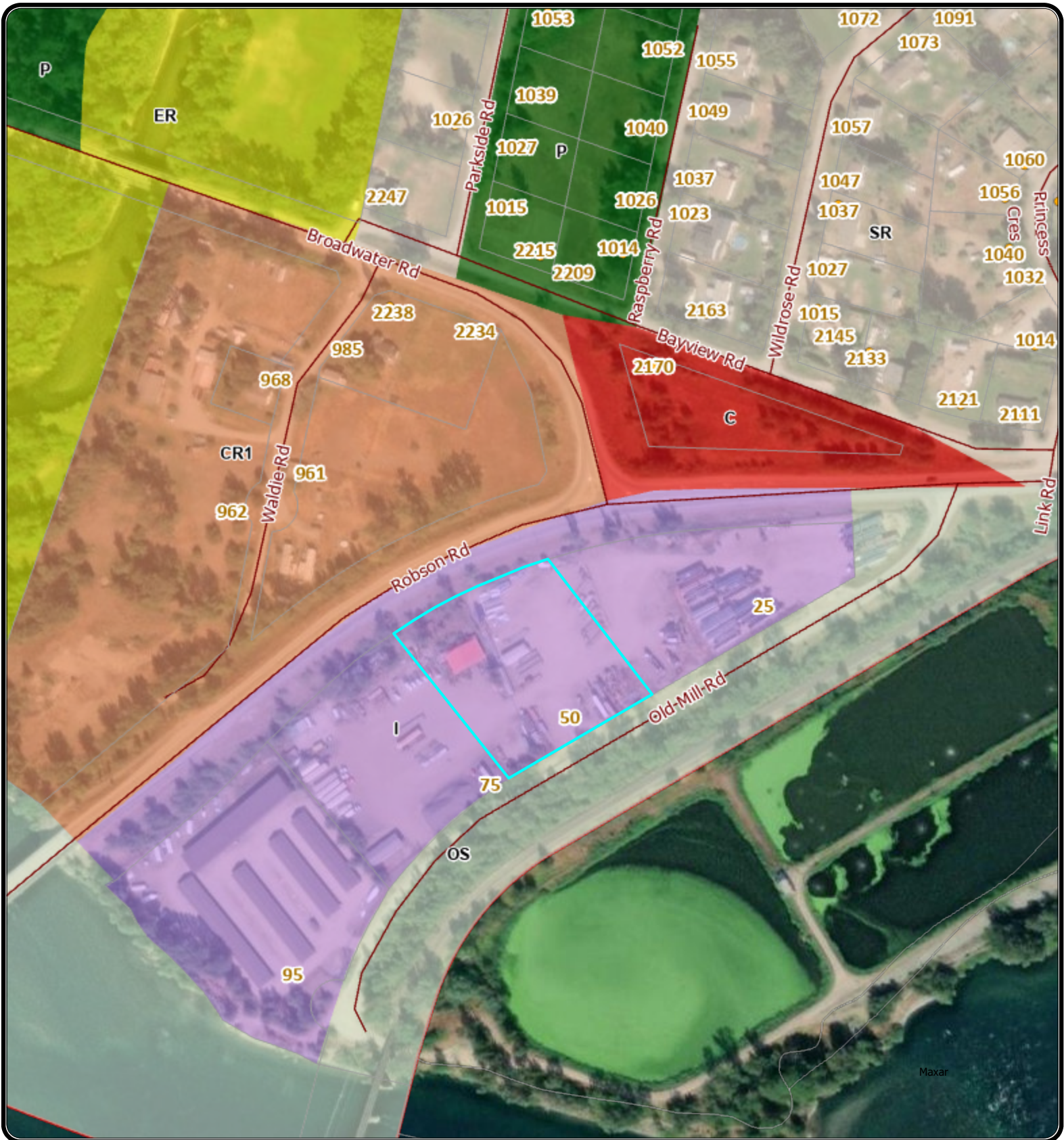
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Official Community Plan

- Commercial
- Country Residential
- Environmental Reserve
- Industrial
- Open Space

Legend

- Parks and Recreation
- Suburban Residential
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines
- Address Points

Map Scale:

1:4,514

Date: August 27, 2024



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Benson Oil

B A Benson & Son
266 – 1st Avenue (Rivervale)
PO Box 368
Trail, BC, V1R 4L6
Ph: 250-368-6428 Toll Free: 855-368-3611
Fax: 250-368-5503
www.bensonoil.ca

To whom it may concern,

Benson Oil is applying for a development permit to construct a commercial cardlock for 24/7 fuelling of trucks and equipment at 50 Old Mill Road in Raspberry BC (PID: 030-632-439).

All construction on the site will adhere to provincial fire and fuel regulations.

In addition to our submission, we are submitting the following variances:

Zoning Bylaw 1675, Section 611.1 and 611.2 Parking

Benson Oil is seeking a variance to the parking requirement from 11 (due to the operation area) to zero.

The proposed site is intended to operate as an unmanned fuelling station. Our reasoning is that no office is proposed for the site, and as such there would be no need for either customers or the public to be parked on-site, as no other services are proposed beyond the scope of the fuelling of vehicles. This would allow the entire space to remain open, and enhance the safety for maneuvering vehicles in and out of the property.

Zoning Bylaw 1675, Section 611.13 Regarding Surfacing in Maneuvering Aisles

Benson Oil is seeking a variance regarding the requirement to pave the entire yard at 50 Old Mill Road in Raspberry.

The area beneath and surrounding the fuel tanks – including the loading (fuelling) and unloading areas – will be surfaced with concrete. All drainage from this area will be managed on-site through catch basins and oily water separator (details of which are outlined in our submission). The rest of the lot would be covered in ¾ road crush and treated with dust suppression material (calcium chloride).

The lot at 50 Old Mill Road is not served by a sewer system, and paving the entire yard would create a major issue with precipitation overwhelming the existing ditch and culvert adjacent to the property. Leaving the accesses and maneuvering areas on permeable ground (gravel) would allow for the natural percolation of the precipitation to the soil.

Zoning Bylaw 1675, Section 621.3 and 621.4 Pertaining to Landscaping and Screening

Benson Oil is seeking a variance to the landscaping and screening requirement.

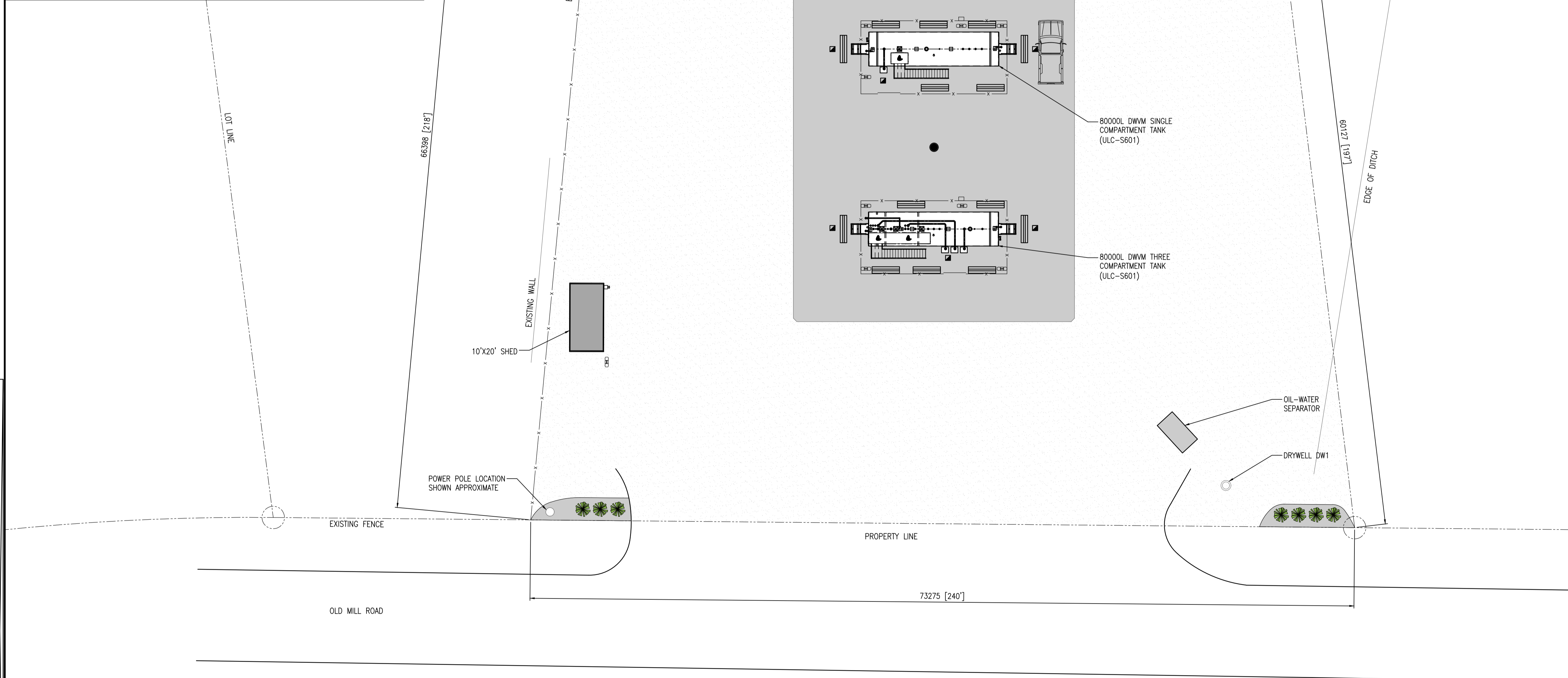
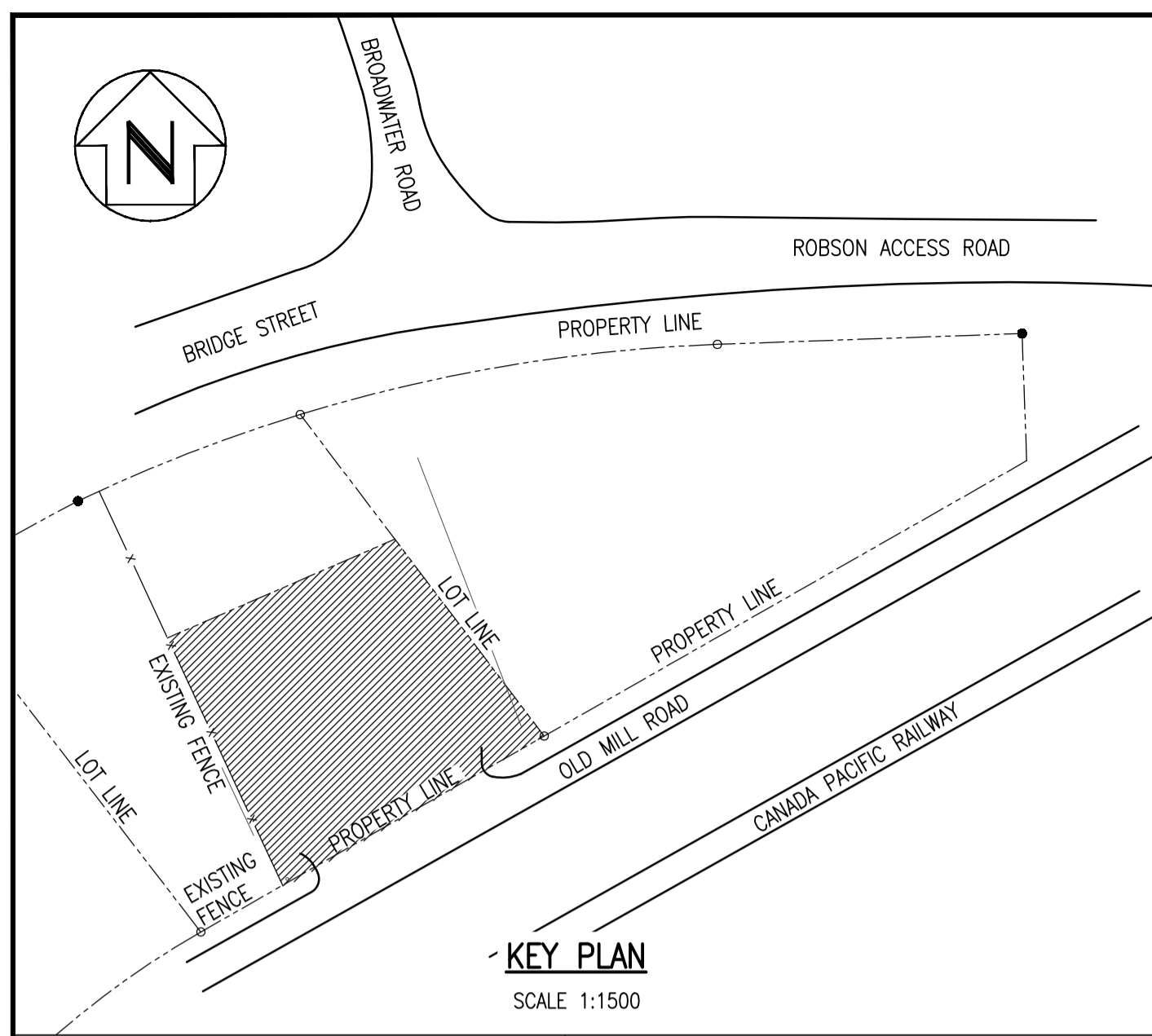
The portion of the lot that we are seeking to develop does not back on to the Robson Access Road (Bridge Street). The property owner intends to retain the use of the area of land between our proposed development area and the property boundary, and we therefore can not block his access.

The west boundary of the area to be developed already has screening installed between the proposed site and the neighboring lot. The east boundary of the area to be developed has been trenched by the property owner.

The front access to the property (facing Old Mill Road) will remain open to accommodate the safe ingress and egress of large commercial vehicles. Leaving the space open will allow for safe vehicle turnaround and traffic flow, as well as clear sight lines for traffic coming and going from the property.



Albert Benson
President
B A Benson & Son Ltd - dba Benson Oil



LEGEND

'TAYLOR' JUNIPER (JUNIPERUS VIRGINIANA 'TAYLOR')

Min Height 1.5m

REVISION IN PROGRESS
09/09/24
APPLY TO DRAWING WHEN DRAWING IS IN A PRELIMINARY STATE

MORROW ENGINEERING
NOT FOR CONSTRUCTION

REV	DATE (MM.DD.YY)	REVISION DESCRIPTION	SL DRAWN	DW DESIGNED	DW CHECKED
0	-	-			

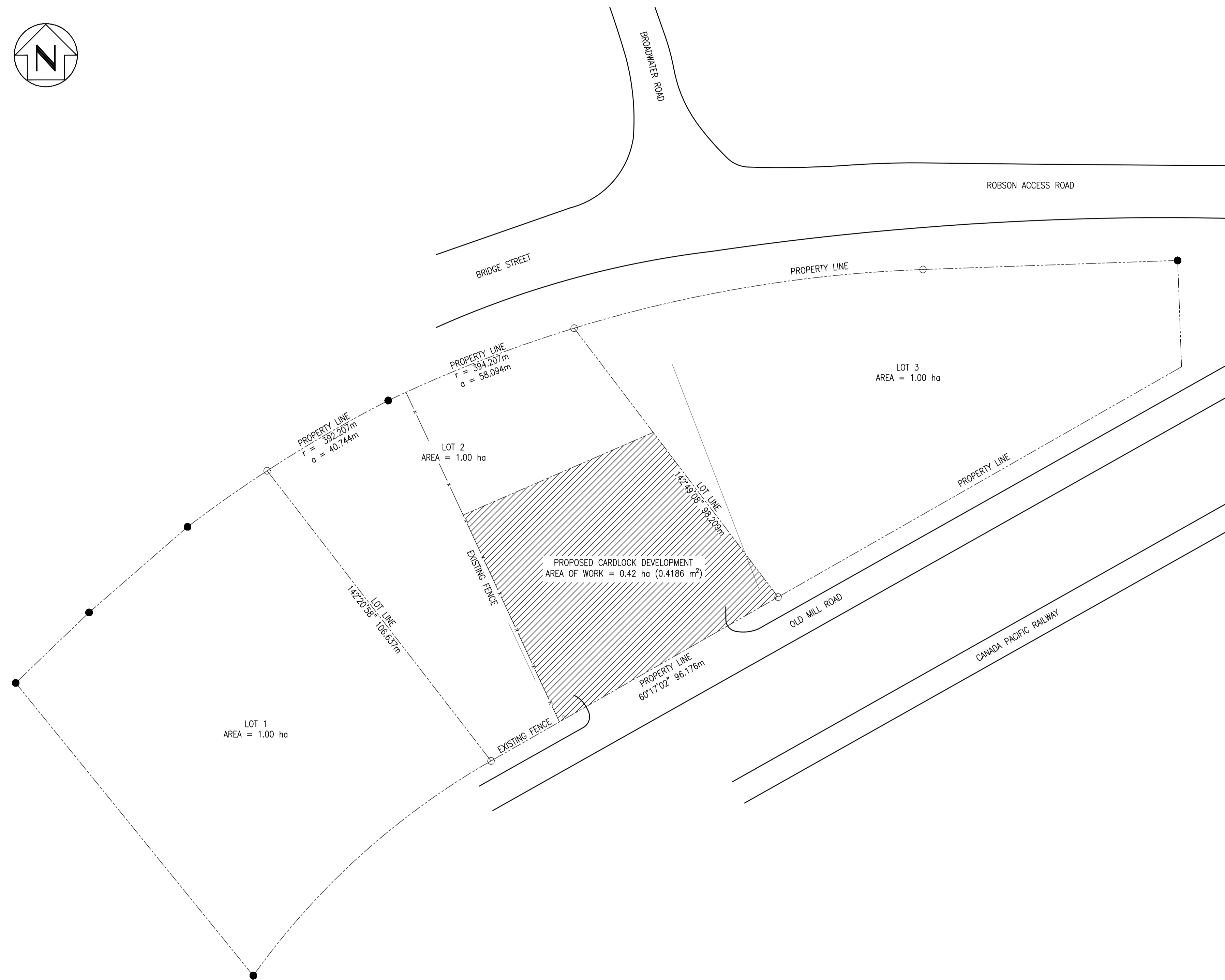
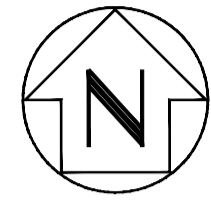
Morrow Engineering Ltd.
CONSULTING ENGINEERS
NORTH VANCOUVER, B.C.

BENSON OIL
NEW CARDLOCK FUEL SYSTEM
50 OLD MILL ROAD, CASTLEGAR BC
LANDSCAPE PLAN

DRAWING NUMBER
54-123-200

BENSON OIL

NEW CARDLOCK FUEL SYSTEM



KEY PLAN
SCALE 1:750

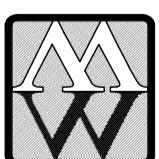
LEGAL LAND DESCRIPTION:
PARTIAL USE LOT C, DISTRICT LOT 237, KOOTENAY DISTRICT, PLAN NEP69129
AREA OF WORK = 0.42 ha

MUNICIPAL ADDRESS:
50 OLD MILL RD, CASTLEGAR, BC

DRAWING LIST	
54-123-001	COVERPAGE
54-123-002	MECHANICAL SPECIFICATIONS
54-123-100	MECHANICAL SITE PLAN
54-123-400	MECHANICAL DETAILS

REVISION IN PROGRESS
09/04/24
APPLY TO DRAWING WHEN DRAWING IS IN A PRELIMINARY STATE

MORROW ENGINEERING
NOT FOR CONSTRUCTION

PROFESSIONAL SEAL	 Morrow Engineering Ltd. <small>CONSULTING ENGINEERS NORTH VANCOUVER, B.C.</small>				
	BENSON OIL NEW CARDLOCK FUEL SYSTEM 50 OLD MILL ROAD, CASTLEGAR BC COVERPAGE DRAWING NUMBER 54-123-001				
0	05.29.24	ISSUED FOR CLIENT REVIEW	SL	DW	DW
REV	DATE (MM.DD.YY)	REVISION DESCRIPTION	DRAWN	DESIGNED	CHECKED

- 1.0 GENERAL
- 1.1 THE WORK TO BE DONE AND THE MATERIAL TO BE SUPPLIED AND BUILT INTO THE WORK SHALL BE THAT AS SPECIFIED HEREIN AND AS SHOWN ON THE DRAWINGS.
- 1.2 THE FUEL SYSTEMS WORK OF THIS PROJECT (INSTALLATION OF NEW STORAGE TANKS, PIPING, SUMPS & DISPENSERS) SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR (AND/OR SUB-CONTRACTOR).
- 1.3 DRAWINGS
- .1 DRAWINGS ESTABLISH SCOPE, MATERIAL AND INSTALLATION QUALITY BUT DO NOT NECESSARILY SHOW OFFSETS, FITTINGS OR INSTALLATION DIFFICULTY THAT MAY BE ENCOUNTERED DURING THE EXECUTION OF THE WORK.
 - .2 WHERE WORK THAT IS OBVIOUSLY NECESSARY OR THE OPERATION OF THE SYSTEM IS NOT SHOWN ON THE DRAWINGS, SUCH WORK SHALL BE CARRIED OUT IN A MANNER ACCEPTABLE TO THE ENGINEER.
 - .3 IN CASE OF AMBIGUITY, DUE TO CONDITIONS AT THE SITE, INFORMATION OMITTED OR INSUFFICIENT, CONFLICT OF REQUIREMENTS OF DIFFERENT TRADES AFFECTING THE SAME PORTION OF THE WORK, AND SO ON, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OBTAIN NECESSARY CLARIFICATION.
- 1.4 THE WORK INCLUDES THE MECHANICAL PETROLEUM SYSTEMS ONLY (TANKS PIPING, PUMPS DISPENSERS ETC.), INCLUDING PAINTING, AND TESTING AND ALL THE ASSOCIATED DISPOSAL, REPAIRATIONS AND COMMISSIONING ASSISTANCE FOR THE ABOVE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY ALL DRAWINGS AND UNDERSTAND THE WORK THOROUGHLY, TAKING INTO CONSIDERATION REQUIREMENTS FOR EACH TRADE INVOLVED.
- 1.5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THE ALIGNMENT, DIMENSIONS AND ELEVATIONS OF EACH AND EVERY PART OF THE WORK AND THEIR MUTUAL RELATIONSHIP.
- 1.6 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING FABRICATION OR CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS TO THE ENGINEER.
- 1.7 THE CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE, THE BRITISH COLUMBIA FIRE CODE, CCM ENVIRONMENTAL CODE OF PRACTICE FOR ABOVEGROUND AND UNDERGROUND STORAGE TANK SYSTEMS CONTAINING PETROLEUM AND ALLIED PETROLEUM PRODUCTS, THE CANADIAN ELECTRICAL CODE, WORKSAFEBC AND ANY OTHER RELEVANT LEGISLATION, REGULATIONS, CODES AND BYLAWS OF PROVINCIAL OR LOCAL APPLICATION PROVIDED THAT IN ANY CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- 1.8 THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, PROVINCIAL, AND MUNICIPAL LAWS, ORDERS, RULES AND REGULATIONS CONCERNING THE CONTROL AND ABATEMENT OF WATER POLLUTION. THE CONTRACTOR'S CONSTRUCTION ACTIVITIES SHALL BE PERFORMED BY METHODS THAT WILL PREVENT ENTRANCE OR ACCIDENTAL SPILLAGE OF CONTAMINANTS, DEBRIS AND OTHER OBJECTIONABLE POLLUTANTS AND WASTES INTO THE ENVIRONMENT.
- 1.9 THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, MAKING NOTIFICATIONS AS REQUIRED BY THE APPLICABLE REGULATIONS AND FOR PROVIDING COPIES OF ANY SUCH INFORMATION TO THE ENGINEER.
- 1.10 THE CONTRACTOR SHALL SUBMIT CERTIFIED DATA/SHOP DRAWINGS TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- 1.11 RECORD DRAWINGS
- .1 MAINTAIN PROJECT "AS CONSTRUCTED" RECORD DRAWINGS AND RECORD ACCURATELY SIGNIFICANT DEVIATIONS FROM DRAWINGS CAUSED BY SITE CONDITIONS AND CHANGES ORDERED BY THE ENGINEER.
 - .2 MARK "AS CONSTRUCTED" CHANGES IN RED.
 - .3 RECORD THE FOLLOWING INFORMATION:
 - .1 HORIZONTAL AND VERTICAL LOCATION OF UTILITIES AND APPURTENANCES REFERENCED TO PERMANENT SURFACE IMPROVEMENT.
 - .2 LOCATION OF INTERNAL UTILITIES AND APPURTENANCES CONCEALED IN CONSTRUCTION REFERENCED IN VISIBLE AND ACCESSIBLE FEATURES OF STRUCTURE.
 - .3 FIELD CHANGES OF DIMENSION AND DETAIL.
 - .4 AT COMPLETION OF PROJECT AND PRIOR TO FINAL INSPECTION, NEATLY TRANSFER "AS-BUILT" NOTATIONS TO CLEAN SET OF DRAWINGS AND SUBMIT BOTH SETS TO ENGINEER.
- 2.0 CIVIL/STRUCTURAL - BY OTHERS
- 3.0 ELECTRICAL - BY OTHERS
- 4.0 MECHANICAL/PIPING
- 4.1 ALL PETROLEUM EQUIPMENT AND ANCILLARIES SHALL BE CSA OR ULC APPROVED IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS.
- 4.2 MATERIAL SPECIFICATIONS
- .1 PIPING/FITTINGS - STEEL - 3"Ø AND 2"Ø
PIPE: CARBON STEEL, SEAMLESS, ASTM A106-Gr.B SCH.40
CONNECTIONS: ALL BUTT WELDED UNLESS SHOWN OTHERWISE ON DRAWINGS. THREADED CONNECTIONS ARE PERMITTED AT EQUIPMENT WITH THREADED CONNECTIONS OR WHERE FUTURE DISASSEMBLY OF PIPING MAY BE REQUIRED;
FITTINGS: BUTT WELDED: CARBON STEEL, ASTM A106-Gr.B, ASME/ANSI B16.9, THREADED: FORGED STEEL, 3000#, ASTM A105, ANSI B16.11
FLANGES: FORGED STEEL, 150# RFWN, ASTM A182, ANSI/ASME B16.5, (UNLESS SHOWN OTHERWISE AS "RFSO", SLIP-ON)
GASKETS: NON ASBESTOS, FLAT RING, 2mm THICK
BOLTING: STUD BOLTS - ASTM A193, GR.88M, CLASS 2
NUTS - ASTM A194, GR.88M, CLASS 2
 - .2 FILL SPILL CABINET:
 - .1 BOTTOM LOADING FILL/SPILL BOX - 10 US GALLON MORRISON 715-TT3-3SBB-0 LOW FILL BOX c/w HAND PUMP RETURN, 3"Ø CHECK VALVE, 3"Ø BALL VALVE, 3"Ø Fx F CAMLOCK, 3"Ø DUST PLUG
 - .3 SUBMERGED TURBINE PUMPS:
FE PETRO 3/4HP AND 4HP - OWNER SUPPLIED
 - .4 DISPENSERS AND HANGING HARDWARE - OWNER SUPPLIED
 - .5 FUEL STORAGE TANKS - OWNER SUPPLIED
 - .1 80,000 LITRE HORIZ. CYL. DOUBLE WALL VACUUM MONITORED TANK (ULC-S601)
 - .2 80,000 LITRE HORIZ. CYL. DOUBLE WALL VACUUM MONITORED 3-WAY SPLIT TANK (ULC-S601)
 - .6 ELECTRONIC LEAK AND LEVEL MONITORING SYSTEM INCON EVO. STORAGE TANKS AND DISPENSER PANS TO BE LEAK MONITORED - OWNER SUPPLIED

- 5.0 EXECUTION
- 5.1 STEEL PIPE CONNECTIONS
- .1 THREADED CONNECTIONS: THREADED JOINTS SHALL HAVE CLEAN-CUT THREADS AND BE REAMED CLEAN. JOINTS SHALL BE MADE USING AN APPROVED PIPE COMPOUND.
 - .2 WELDED CONNECTIONS: WELDED PIPE SHALL CONFORM TO ANSI B31.3, LATEST EDITION, AND ALL APPLICABLE PROVINCIAL AND/OR LOCAL CODES, REGULATIONS AND BYLAWS. USING PROCEDURES CONFORMING TO AWS B3.0, AWS C1.1 AND ALL APPLICABLE PROVINCIAL CODES.
 - .3 CONTRACTOR SHALL BE RESPONSIBLE FOR THE WELDING DONE BY PERSONNEL OF ITS ORGANIZATION AND SUBCONTRACTOR AND SHALL CONDUCT THE REQUIRED QUALIFICATION TEST TO QUALIFY THE WELDING PROCEDURES AND THE WELDERS. NON DESTRUCTIVE EXAMINATION SHALL BE AS PER THE REQUIREMENTS OF ASME B31.3 AND IS TO INCLUDE FULL RADIO GRAPHIC EXAMINATION OF 5% OF ALL WELDS.
 - .4 ALL WELDERS SHALL BE QUALIFIED TO SECTION IX OF THE ASME CODE AND SHALL HOLD CURRENT PROVINCIAL TICKETS.
 - .5 CONTRACTORS WELDING PROCEDURES, INCLUDING WELDING PROCEDURE QUALIFICATIONS RECORDS, SHALL BE SUBMITTED FOR APPROVAL WHEN REQUESTED BY THE ENGINEER. WELDING SHALL NOT BE PERFORMED PRIOR TO ENGINEERS APPROVAL OF WELDING PROCEDURES AND QUALIFICATIONS.
- 5.2 CLEANING OF PIPE
- .1 EACH LENGTH OF PIPE MUST BE INTERNALLY SWABBED BEFORE BEING TIED INTO THE LINE. CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO ENSURE THAT EACH PIPE LENGTH IS KEPT AS FREE OF DIRT AND OTHER FOREIGN MATERIALS AS IS PRACTICABLE. OPEN ENDS OF INSTALLED PIPE SHALL BE SECURELY CLOSED ON COMPLETION OF EACH DAY'S WORK AND SHALL NOT BE OPENED UNTIL WORK IS RESUMED.
 - .2 ANY OBSTRUCTIONS, WHICH MAY OCCUR IN THE LINE SHALL BE REMOVED BY THE CONTRACTOR AND THE LINE MUST BE DELIVERED TO THE OWNERS ENTIRELY FREE FROM WATER, DIRT AND OTHER FOREIGN SUBSTANCES. IF FOR ANY REASON, WATER, DIRT, OR FOREIGN SUBSTANCES ENTER THE LINE, IT SHALL BE TAKEN APART, EXAMINED, CLEARED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- 5.3 TESTING
- .1 THE CONTRACTOR SHALL LAYOUT AND PERFORM ALL PRESSURE TESTING ACTIVITIES INCLUDING INSTALLATION AND REMOVAL OF TEST BLINDS AND TEST GASKETS TO ISOLATE EQUIPMENT, AND SHALL FURNISH AND INSTALL ALL HOSES, TOOLS, GAUGES, RECORDERS AND EQUIPMENT REQUIRED TO MAKE THE TESTS. THE CONTRACTOR SHALL ISOLATE PUMPS, TANKS, FILTERS, DISPENSERS AND ALL OTHER SENSITIVE ITEMS RATED LOWER THAN THE TEST PRESSURE.
 - .2 ALL TESTS SHALL BE CARRIED OUT IN THE PRESENCE OF THE ENGINEER. CORRECTION INCLUDING, BUT NOT LIMITED TO, TIGHTENING OR REMAKING OF THREADED CONNECTIONS, CLEANING OF PLUGGED LINES AND REMOVAL OF DEBRIS, SHALL BE DONE BY THE CONTRACTOR, AT HIS EXPENSE, TO THE SATISFACTION OF THE ENGINEER.
 - .3 RECORDS SHALL BE MADE OF EACH SYSTEM TESTED AND SHALL INCLUDE DATE OF TEST, IDENTIFICATION OF PIPING TESTED, TEST MEDIUM, TEST PRESSURE, TEST TEMPERATURE, SIGNATURE OF PERSON RESPONSIBLE.
 - .4 ABOVE GROUND STEEL PIPING
 - .1 ALL 3" STEEL FILL PIPING SHALL BE PNEUMATICALLY TESTED AT 75PSI. ALL 2" STEEL FUEL DISPENSING PIPING SHALL BE PNEUMATICALLY TESTED AT 50PSI. MINIMUM TEST TIME SHALL BE TWO HOURS. MAXIMUM ALLOWABLE PRESSURE LOSS SHALL BE 2PSI.
- 5.4 PAINTING
- .1 COMPONENTS REQUIRING BOLTING FOR ASSEMBLY SHALL BE PRE-PAINTED PRIOR TO ASSEMBLY, NOT BOLTED UP AND THEN PAINTED. ALL WELDING ON GALVANIZED COMPONENTS SHALL BE TOUCHED UP USING A ZINC RICH COATING. ALL NEW PIPE, PIPE SUPPORTS AND MISCELLANEOUS FABRICATED STEEL ITEMS SHALL BE PROPERLY CLEANED AND PAINTED PER THE FOLLOWING PAINTING SPECIFICATION:

SURFACE PREPARATION: SSPC - SP6, COMMERCIAL BLAST CLEAN
COATINGS: 2 COATS, (2.5-3 MILS DFT/COAT) SELF-PRIMING SATIN GLOSS INDUSTRIAL ENAMEL.
COLOUR: WHITE
- 5.5 PIPE LABELING
- .1 APPLY MARKERS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS WITH COMPLETE WRAP AROUND. ANY MARKINGS SHOWING DOG EARS, BUBBLES OR OTHER FAILINGS SHALL BE REPLACED.
 - .2 APPLY TO SHOW PROPER IDENTIFICATION OF PIPE CONTENTS AND DIRECTION OF FLOW. THE LEGEND SHALL BE APPLIED TO THE PIPE SO THAT THE LETTERING IS IN THE MOST LEGIBLE ORIENTATION.
- 5.6 COMMISSIONING
- .1 ALL ITEMS AND SYSTEMS SHALL BE COMMISSIONED BY THE INSTALLATION CONTRACTOR OR SUBCONTRACTOR.
 - .2 COMMISSIONING INCLUDES THE START-UP OF INDIVIDUAL COMPONENTS AND EQUIPMENT AND THE SYSTEM AS A COHESIVE UNIT.
- 6.0 MISCELLANEOUS
- 6.1 FIRE EXTINGUISHERS:
FOUR (4) PORTABLE FIRE EXTINGUISHERS, EACH HAVING A RATING OF NOT LESS THAN 80-BC TO BE MOUNTED IN WEATHERPROOF CABINETS ON THE FENCE AT THE STORAGE TANK AREA.
 - 6.2 SIGNAGE AND DECALS:
SUPPLY AND INSTALLATION OF NO SMOKING SIGNS ON FENCE, PRODUCT ID AND MAX. FILL LEVEL DECALS ON TANKS, PRODUCT ID TAGS ON FILL PIPE CONNECTIONS, EMERGENCY RESPONSE PROCEDURES AND EMERGENCY STOP SIGNAGE.
 - 6.3 FUEL SPILL RESPONSE KIT
SUPPLY AND INSTALLATION OF ROCKY MOUNTAIN SRK EMERGENCY FUEL SPILL RESPONSE KIT INSIDE THE FENCED FUEL STORAGE TANK AREA.

REVISION IN PROGRESS
09/04/24

MORROW ENGINEERING
NOT FOR CONSTRUCTION

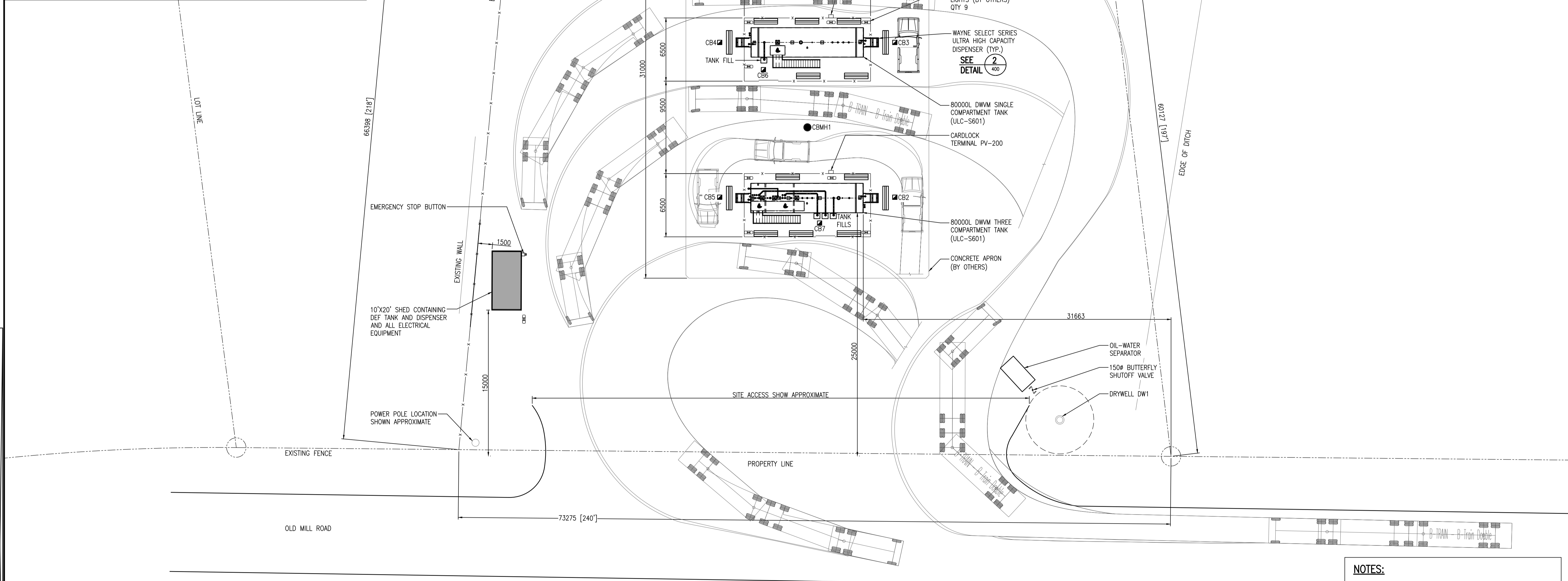
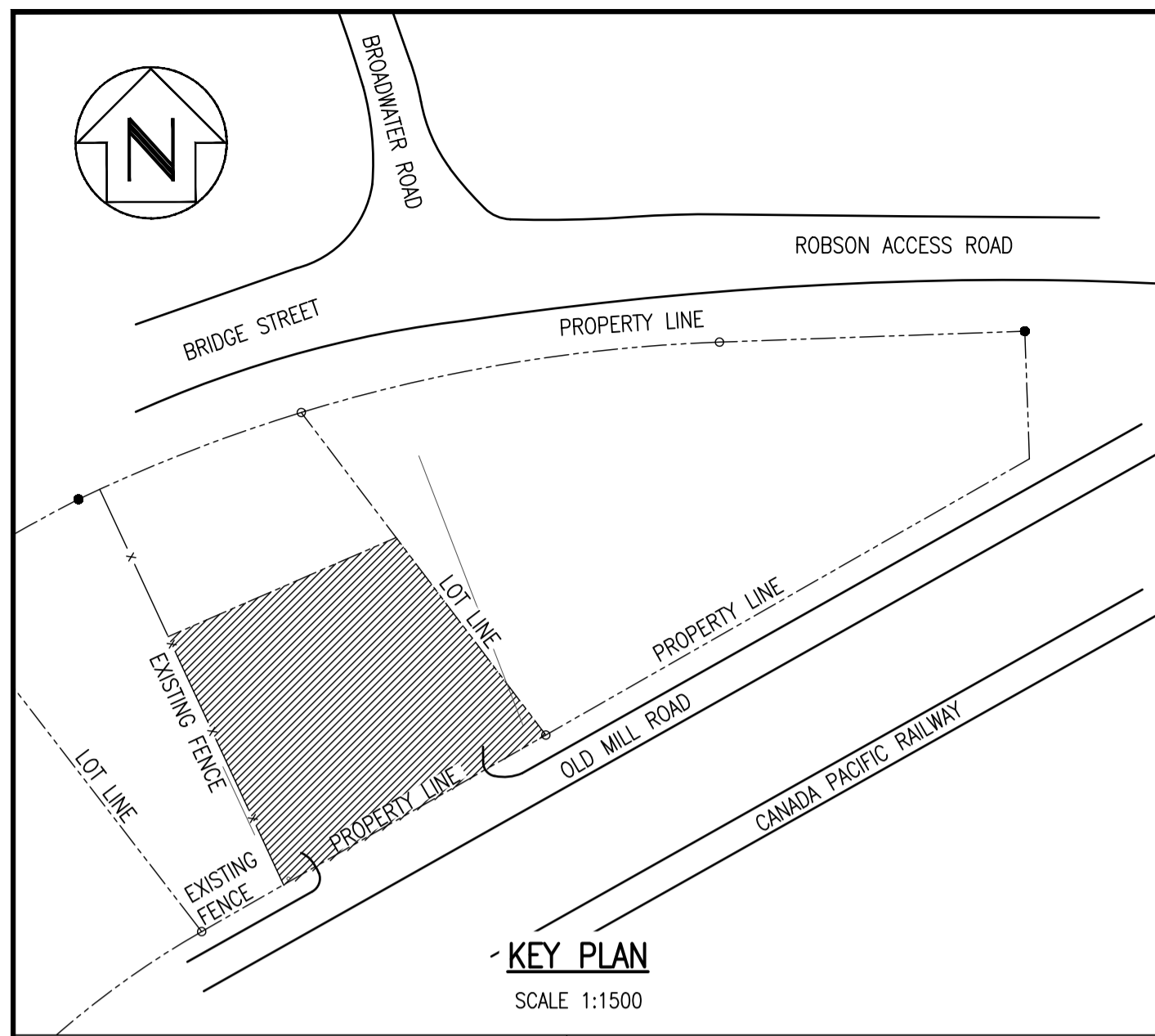
REV	DATE (MM.DD.YY)	REVISION DESCRIPTION	DRAWN	DESIGNED	CHECKED
0	05.29.24	ISSUED FOR CLIENT REVIEW	SL	DW	DW

Morrow Engineering Ltd.

CONSULTING ENGINEERS
NORTH VANCOUVER, B.C.

BENSON OIL
NEW CARDLOCK FUEL SYSTEM
50 OLD MILL ROAD, CASTLEGAR BC
MECHANICAL SPECIFICATIONS

DRAWING NUMBER
54-123-002



NOTES:
1. CIVIL DESIGN AND SPILL CONTROL INFRASTRUCTURE TO BE DESIGNED BY MCELHANEY. SPILL CONTROL INFRASTRUCTURE SHOWN FOR REFERENCE ONLY.

REVISION IN PROGRESS
09/04/24
APPLY TO DRAWING WHEN DRAWING IS IN A PRELIMINARY STATE

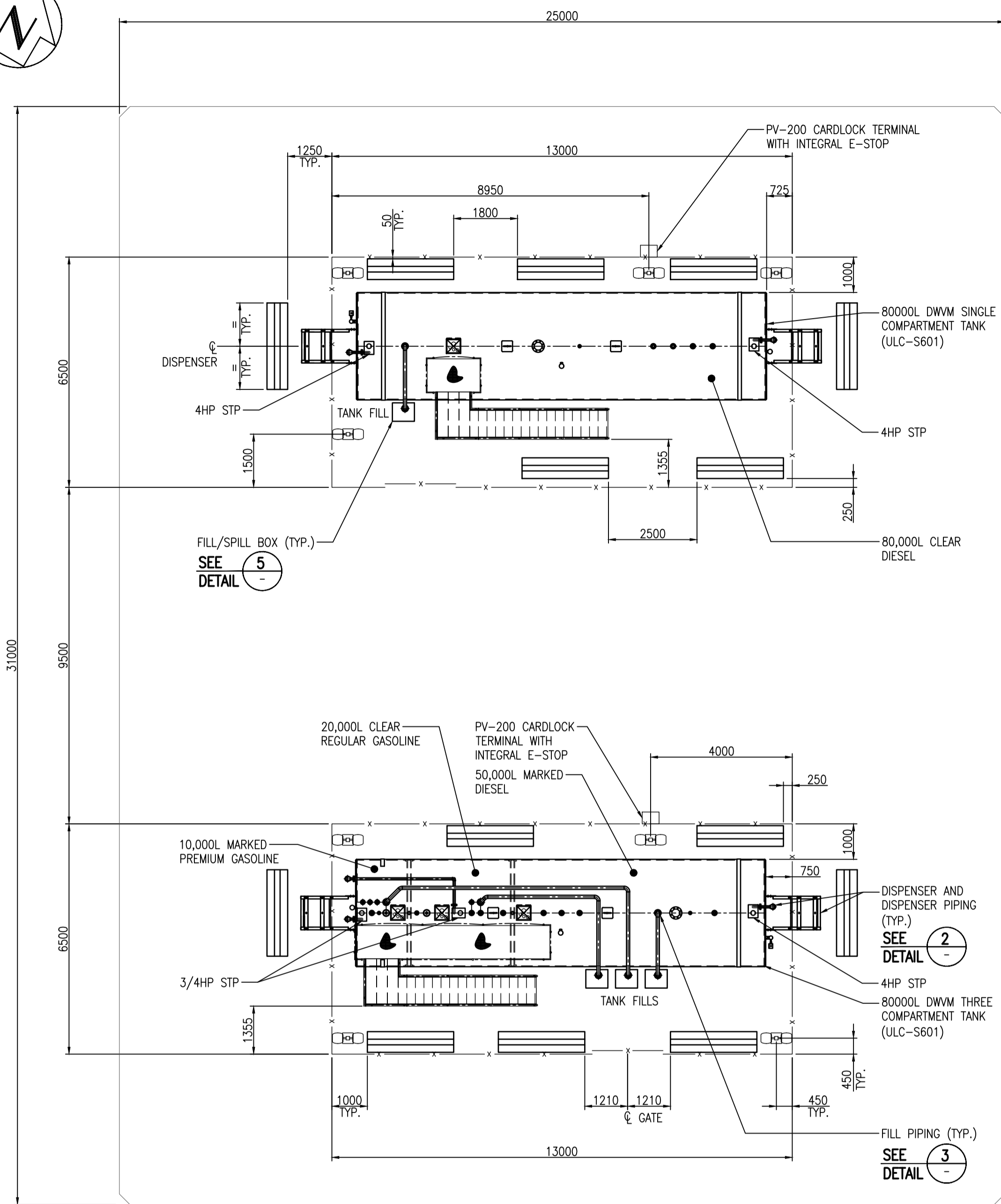
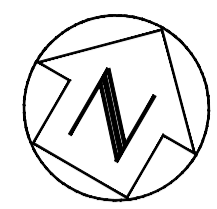
MORROW ENGINEERING
NOT FOR CONSTRUCTION

MECHANICAL SITE PLAN
SCALE 1:200

PROFESSIONAL SEAL							
0	05.29.24	ISSUED FOR CLIENT REVIEW	SL	DW	DW		
REV	DATE (MM.DD.YY)	REVISION DESCRIPTION	DRAWN	DESIGNED	CHECKED		



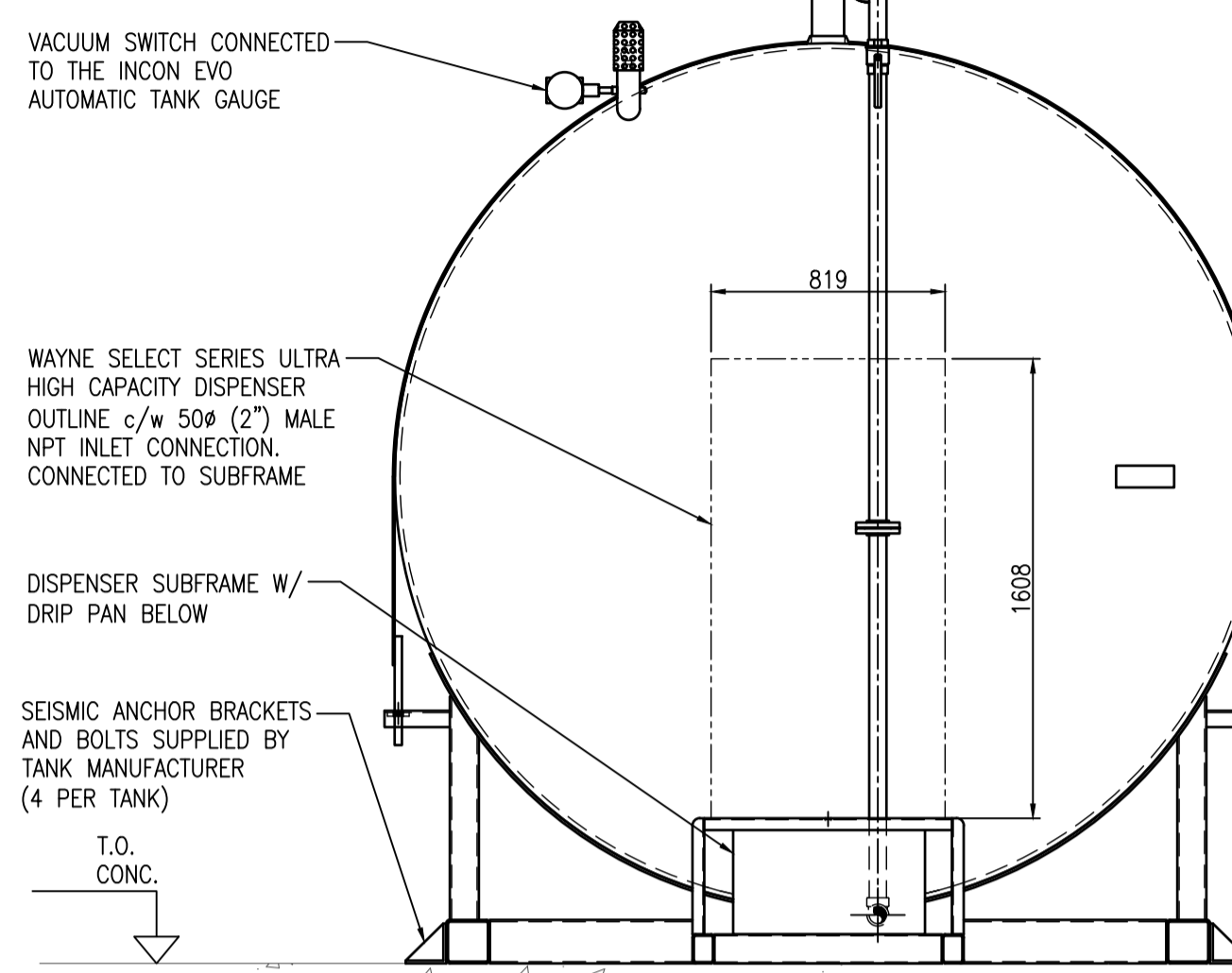
BENSON OIL
NEW CARDLOCK FUEL SYSTEM
50 OLD MILL ROAD, CASTLEGAR BC
MECHANICAL SITE PLAN
DRAWING NUMBER
54-123-100



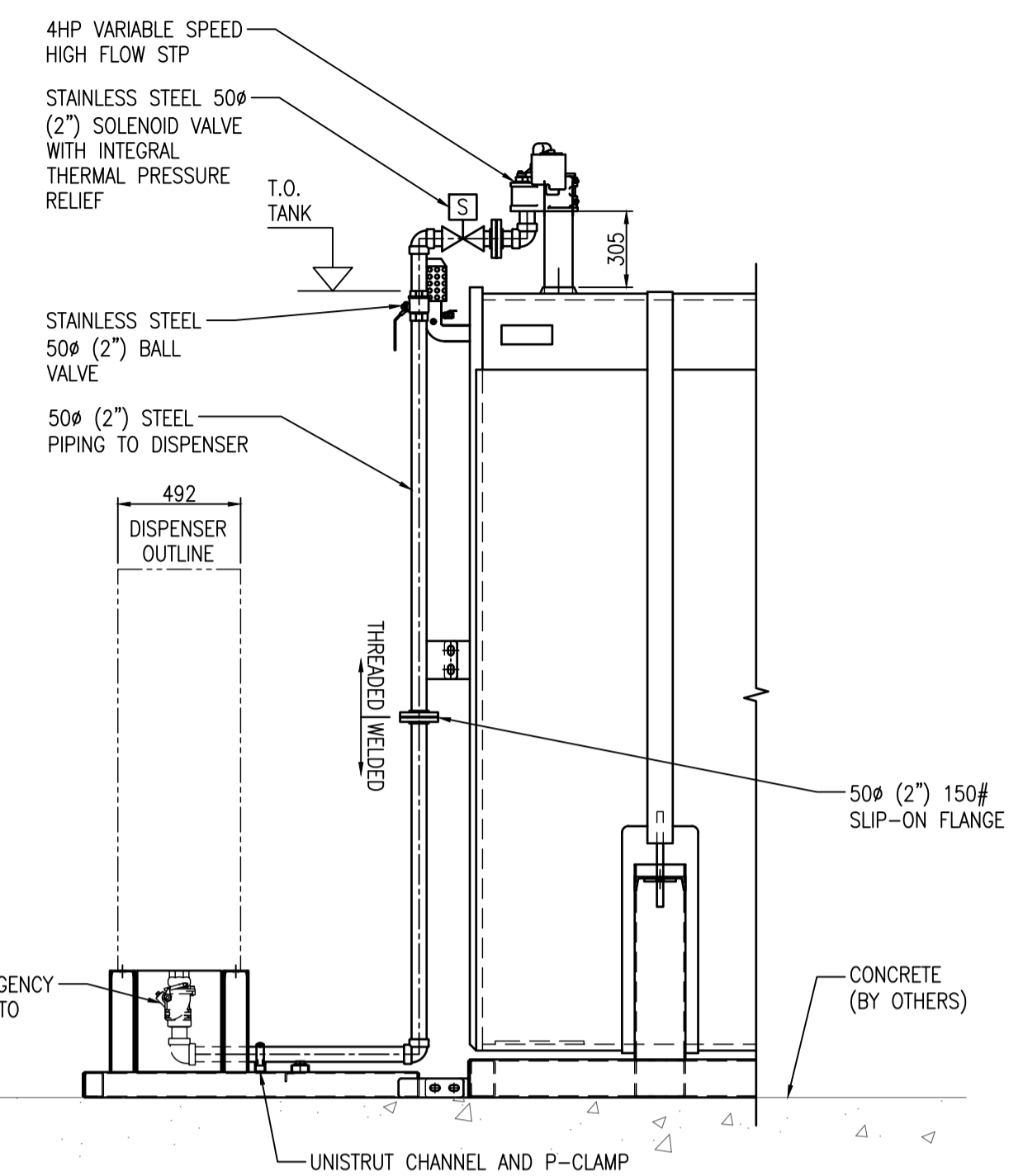
TANK AREA LAYOUT

DETAIL 1
1:100 100

SPILL CONTROL INFRASTRUCTURE BY MCELHANNY NOT SHOWN FOR CLARITY



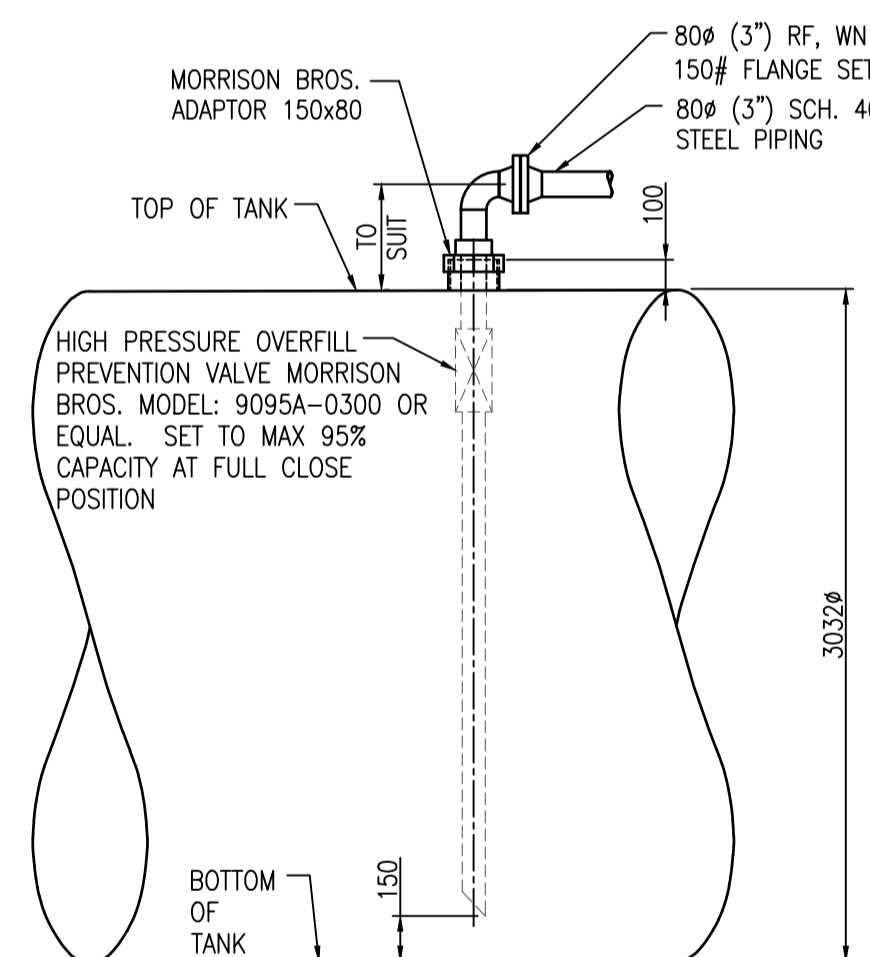
END VIEW



ELEVATION VIEW

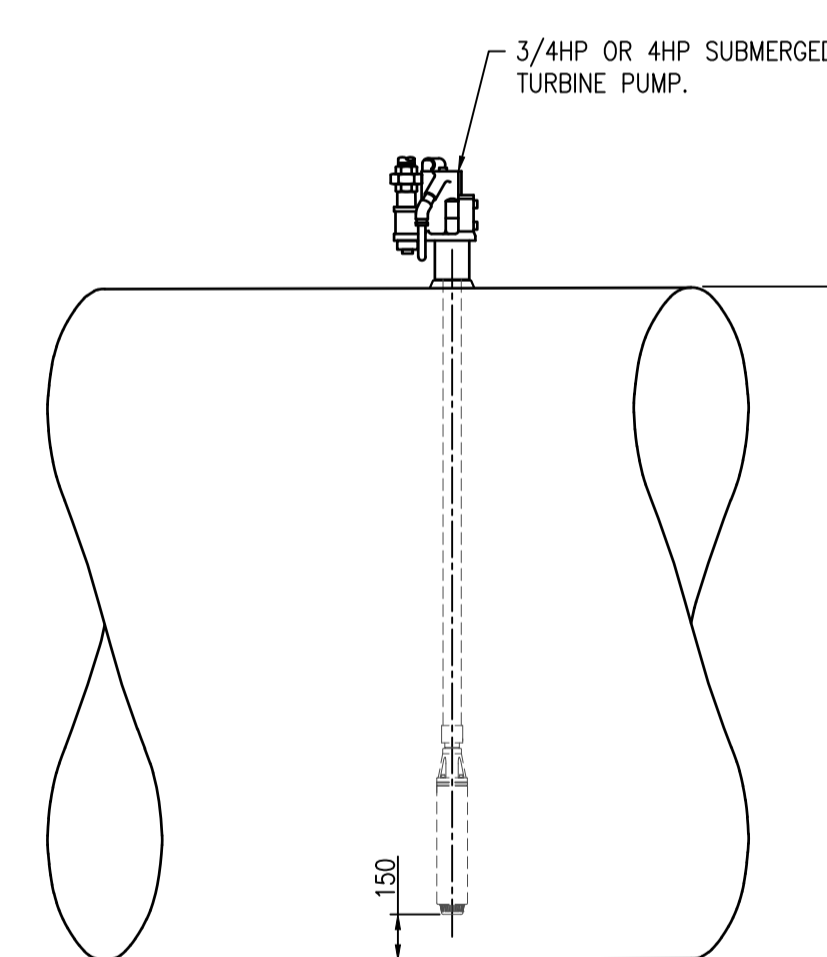
NOTE: TANK PLATFORM AND DISPENSER NOT SHOWN FOR CLARITY
TYPICAL DISPENSING PIPING

DETAIL 2
1:25 100



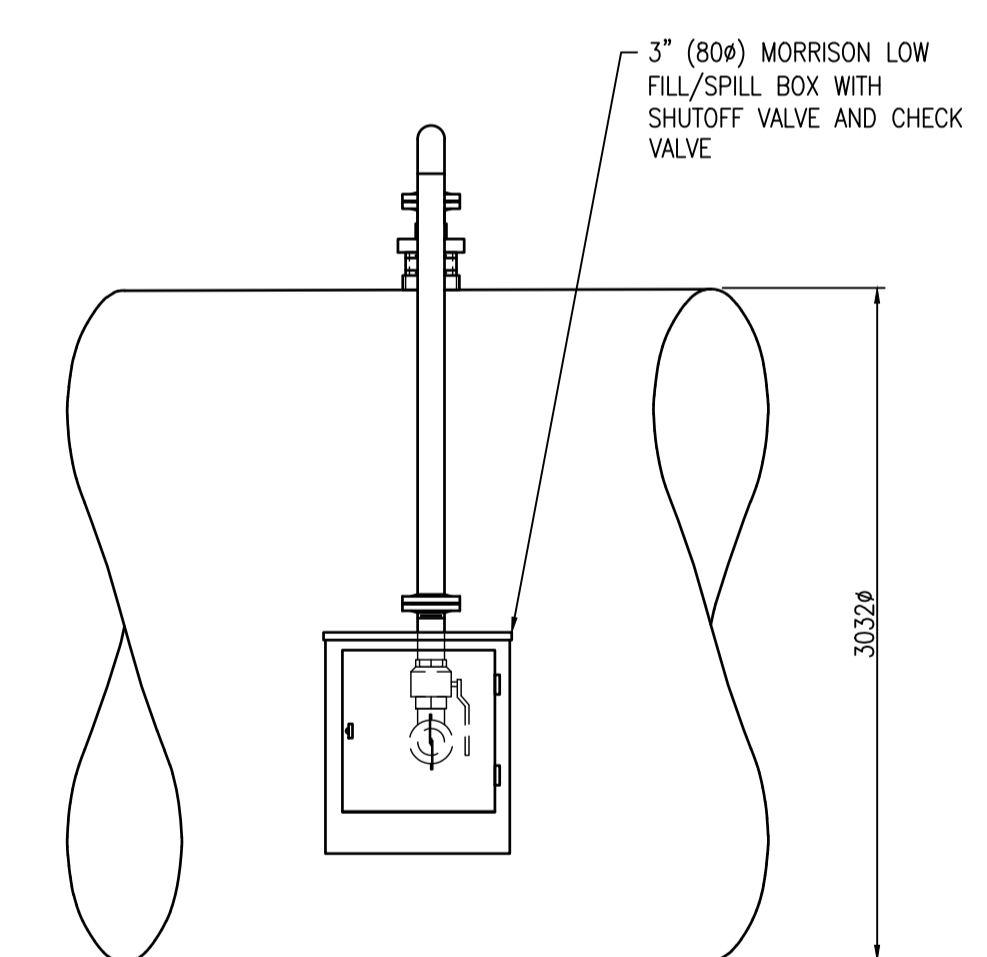
TYPICAL HIGH PRESSURE OVERFILL PREVENTION VALVE INSTALLATION

DETAIL 3
NTS



TYPICAL SUBMERGED TURBINE PUMP INSTALLATION

DETAIL 4
NTS



TYPICAL FILL/SPILL BOX

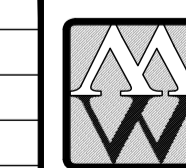
DETAIL 5
NTS

REVISION IN PROGRESS
09/04/24

MORROW ENGINEERING
NOT FOR CONSTRUCTION

PROFESSIONAL SEAL

REV	DATE (MM.DD.YY)	REVISION DESCRIPTION	DRAWN	DESIGNED	CHECKED
0	05.29.24	ISSUED FOR CLIENT REVIEW	SL	DW	DW



Morrow Engineering Ltd.
CONSULTING ENGINEERS
NORTH VANCOUVER, B.C.

BENSON OIL
NEW CARDLOCK FUEL SYSTEM
50 OLD MILL ROAD, CASTLEGAR BC
MECHANICAL DETAILS

DRAWING NUMBER
54-123-400

3.12.26 Encourages the investigation and development of renewable energy supply options such as district energy, ground source heat pumps, solar, heat recovery systems, etc., where opportunities might be present.

3.12.27 Supports the exploration of renewable energy opportunities in the agricultural and forestry industries, such as biomass energy production.

3.12.28 Supports the creation of a renewable energy service for the RDCK.

4 DEVELOPMENT PERMIT AREA

4.1 Development Permit Area #1

4.1.1 Designation Category

All lands designated Commercial, Comprehensive Development, Gravel Extraction, High Density Residential and Industrial as shown of Schedule B, Maps 1 of 3, 2 of 3 and 3 of 3 of Bylaw No. 1157, are designated as a Development Permit Areas pursuant to Sections 879(1)(a) & 879(1)(e) of the Municipal Act, for the purpose of providing guidelines for the protection of the natural environment, and for the form and character of commercial, industrial and multi-family uses.

4.1.2 Justification

The portions of Electoral Area I and J – Lower Arrow/Columbia are subject to this Official Community Plan includes the communities of Blueberry Creek, Brilliant, Fairview, Ootischenia, Robson, Pass Creek, Thrums, Tarrys, Shoreacres, and Glade. The OCP recognizes the distinct residential character of these communities and also recognizes that there is the opportunity for commercial, industrial and multifamily development provided that such development is compatible with existing uses.

The overall objective of this designation then is to ensure that new commercial, industrial or multi-family development is compatible with its surrounding residential and rural character, that it be aesthetically pleasing and environmentally sensitive.

4.1.3 Design Guidelines

4.1.3.1 Development permits issued in this area shall be in accordance with the following general guidelines and with the requirements of the applicable Zoning Bylaw.

4.1.3.2 Development proposals shall be articulated in a detailed development plan.

Form and Character of Building

- 4.1.3.3** Buildings and structures should be sited and shaped in such a manner as to be visually unobtrusive and aesthetically pleasing.
- 4.1.3.4** The shape, siting, roof line and exterior finish of buildings should be sufficiently varied to avoid a monotonous appearance
- 4.1.3.5** A residential component located above commercial or industrial development is encouraged
- 4.1.3.6** Parking should be in smaller clusters, screened from view from internal and adjacent residential uses and from adjacent streets.

Landscaping and Screening

- 4.1.3.7** Particular emphasis should be given to landscaping and the retention of natural vegetation. Obtrusive industrial uses shall be screened. Landscaping and screening shall comply with the requirements of any applicable zoning bylaw.
- 4.1.3.8** Outside storage and manufacturing areas shall be located to the rear of buildings and structures where appropriate and shall be adequately screened.
- 4.1.3.9** Landscaping along the street should be established so that it is sympathetic to the neighbourhood.

Utility Services

- 4.1.3.10** The Development of new structures may require a geotechnical report prepared by a Professional Engineer. The report shall address potential impacts to existing services and the natural environment with particular emphasis on potential impacts to water resources.
- 4.1.3.11** In-ground sewage disposal fields are discouraged for larger developments.
- 4.1.3.12** Signage should be low, visually unobtrusive and grouped whenever possible. Particular emphasis should be given to signage which is aesthetically pleasing and requires a minimal amount of lighting and boldness to be effective. Lighting should be unobtrusive and in scale with the surroundings.

4.1.4 Exemptions

A Development Permit will not be required for the following types of development:

- 4.1.4.1** subdivision;
 - 4.1.4.2** single family and two family dwellings and accessory buildings and structures;
 - 4.1.4.3** farm buildings;
 - 4.1.4.4** replacement of building exterior finishes;
-

- 4.1.4.5** alteration of colour;
 - 4.1.4.6** additions of canopies or other decorative building features such as mullions, windows, doors, etc.; and
 - 4.1.4.7** interior renovations and alterations
-

DIVISION 40 LIGHT INDUSTRIAL (M1)

Permitted Uses

4000 Land, buildings and structures in the Light Industrial (M1) zone shall be used for the following purposes only:

Building Supply Stores and Yards

Car Washes

Commercial Workshops:

 machine shops

 welding shops

 government garages and workshops

Contractors' Offices, Shops and Yards

Construction, Sales, Repair and Storage of:

 boats

 trailers

 prefabricated buildings

Food Processing

Licensed Medical Marihuana Research and Development Facility

Light Manufacturing Including:

 finished wood products

 fibreglass products

 canvas products

 finished concrete products

 ceramic products

Manufactured Home and Trailer Sales

Micro Cultivation, Cannabis

Micro Processing, Cannabis

Nursery, Cannabis

Recycling Depot

Repair Shops

Sales, Rental and Servicing of:

 motor vehicles

 equipment

Service Stations

Standard Cultivation, Cannabis

Standard Processing, Cannabis

Trucking Depot

Veterinary Clinics

Warehousing

Mini Warehouses

Accessory Uses:

 Accessory Buildings and Structures

 Business Office

One Dwelling Unit

Site Specific - Lot 1, District Lot 787, Kootenay District Plan 18383 (PID 013-899-724) - Division 37 Light Industrial (M1), Permitted Uses, 3700, “Car Washes” and “Food Processing” be omitted as permitted uses

Site Specific – Portion of Lot 91, District Lot 4598, Kootenay District Plan 4924 (PID 009-597-581) – Division 37 Light Industrial (M1), Permitted Uses, 3700 with all permitted uses omitted, except for “Contractors’ Offices, Shops and Yards” within a fully enclosed building, up to a maximum site coverage of 35 percent

Development Regulations

4001

- 1 The minimum site area for each permitted use shall be one (1) hectare.
- 2 The maximum site coverage permitted shall be 50 percent of the lot area.
- 3 Excepting a fence, no building or structure may be located within:
 - a. 15 metres of the front or exterior side lot lines;
 - b. 4.5 metres of the rear or interior side lot lines; or
 - c. 25 metres of a rear or interior side lot line that abuts an agricultural or residential zone.
- 4 The maximum height of any structure on a lot shall be 15 metres.
- 5 Landscaping shall comply with the requirements of sections 621 and 622.
- 6 An Industrial Development Permit is required for developments on Industrial zoned land.

- 3 Where a zone boundary does not follow a legally defined line and where the distances are not specifically indicated, the location of the boundary shall be determined by scaling from the zoning sheets referred to in Section 620(1).
- 4 Any area not specifically shown on Schedule 'A' – Zoning Map, shall be deemed to be zoned Open Space (OS).
- 5 In circumstances where a single lot is located in more than one zone, the provisions of this Bylaw that regulate the use of land, buildings and structures; the density of the use of land, buildings, and structures; the siting, size, and dimension of buildings and structures, and uses permitted on the land; the location of uses on the land and within the building and structures; and the shape, dimension, and area of all parcels of land that may be created by subdivision; shall apply as if the zone boundary were a property line, and in the case of subdivision, be in compliance with the largest minimum area that applies to that lot or portion of the lot being created.

Landscaping Requirements - Applicability

621 Due regard should be given to the following to incorporate landscaping into neighbourhood design:

- 1 Provision of privacy for outdoor and indoor spaces through use of plant screens, walls or fences;
- 2 Separation of distinct areas allocated to different types of activities;
- 3 Reduction of glare or illumination from automobile traffic, street lighting or other sources;
- 4 Direction of pedestrian circulation away from privacy areas onto designated paths with vegetation and varied paving textures;
- 5 Curtailing erosion on steep grades;
- 6 Control of noise from streets or activity areas;
- 7 Environmental modification, such as the blocking of wind.

General Regulations for Landscaping

622

- 1 In a multi-unit residential development including manufactured home parks, any part of a lot not used for structures and associated parking areas shall be fully landscaped and properly maintained as a landscaping area, or as undisturbed forest.
- 2 At least 30 percent of the total area of any lot used for multi-unit residential purposes shall be maintained as open space landscaped area in a permeable state.

- 3 Any off-street parking area, exterior display area or loading area on a lot used for Commercial or Industrial purposes shall:
 - a. be provided with screening in the form of a fence not less than 1.5 metre in height or by a hedge not less than 1.5 metre in height at the time of planting where adjacent to a lot in any Residential zone; such screening shall be planted or installed so that no person shall be able to see through it;
 - b. be separated from any directly abutting lot in any Residential zone and from any adjoining highway other than a lane, by a fully and suitably landscaped and properly maintained strip not less than 1.5 metres in width.
- 4 Where any lot is used for commercial, industrial and institutional purposes, any part of such lot that is not used for buildings, exterior display areas, parking or loading facilities shall be maintained as a landscaped area, or as undisturbed forest.
- 5 Where any off-street parking area for four (4) or more vehicles is located within 4.5 metres of a front or exterior side lot line, it shall be screened by an evergreen hedge not less than 1.5 metre in height at the time of planting. The minimum width of soil area for the hedge shall be 0.75 metres. The hedge shall be planted one (1) metre from curbs or wheel stops.
- 6 The design, installation and maintenance of any landscaping area or screen should be in conformity with the current specifications of the 'British Columbia Landscape Standard' prepared by the B.C. Society of Landscape Architects and the B.C. Nursery Trades Association.
- 7 In the Quarry zone, a landscape screen or a continuous three (3) metre high opaque fence shall be maintained within the 100 metre setback required for any processing operation.

Development Permit Variances

- 623 Pursuant to Section 489 of the *Local Government Act*, setback and height variances may be approved by the Regional District on a Development Permit where community plan objectives for the form and character of commercial, industrial and multi-family developments can be achieved provided that no siting variances cross a property line.