

# REGIONAL DISTRICT OF CENTRAL KOOTENAY

## Development Permit Report

**Date of Report:** August 7, 2019  
**Author:** Darcy Roszell, Planner  
**Subject:** DEVELOPMENT PERMIT – LICHTENBERGER  
**File:** DP1910A  
**To:** GENERAL MANAGER OF DEVELOPMENT SERVICES

### SECTION 1: EXECUTIVE SUMMARY

The purpose of this report is to consider granting a Residential Cluster Development Permit (RCDP) under *Electoral Area 'A' Comprehensive Land Use Bylaw No. 2315, 2013* for the property at 17234 Pilot Bay Road, East Shore of Kootenay Lake. The applicant proposes to construct a 1041 square foot residential addition to an existing single family dwelling.

Staff recommends approval of the Residential Cluster Development Permit for the applicant as a fractional owner of Kootenay Bay Properties Limited as the proposed residential addition fulfils the guidelines set out in *Electoral Area 'A' Comprehensive Land Use Bylaw No. 2315, 2013*.

### SECTION 2: BACKGROUND / ANALYSIS

The subject property, Kootenay Bay Properties Limited, is a shared interest property with 32 lots. The applicant has proposed a 1041 square foot residential addition to a single-family dwelling on subplot 6C as shown on the siteplan in Figure 1. The property is subject to the RCDP as it is designated Country Residential (RC) under *Electoral Area 'A' Comprehensive Land Use Bylaw No. 2315, 2013* as a shared interest property. The parcel is unzoned.

The primary objective of the RCDP is to achieve a high standard of appearance to ensure that site development is sensitive to adjoining property and the environment, and to protect transportation corridors from adverse traffic and congestion.

Approval of this Residential Cluster Development Permit will allow the owner to apply for a Building Permit.

Guideline	Staff comment
Riparian zones should remain free of development and restoration of the riparian zone undertaken as part of the new development, if the vegetation is not intact and healthy (diversity of native shrubs and trees).	The existing dwelling and the proposed addition are outside of the 15 metre floodplain setback for Kootenay Lake, and the 15 metre setback for an Environmentally Sensitive Development Permit.
Total impervious cover of the site should minimize the impact on receiving aquatic environments. Consideration should be given to reducing impervious cover through reduction in building	No additional impervious surface cover other than the proposed addition is being proposed. The increase in site coverage is negligible, rising from 1.1% coverage to a proposed 2.1% coverage of the subplot.



**footprint and paved areas and use of on-site filtration.**

**Building profiles should reflect the character of surrounding development with special attention to the height of new buildings in relationship to surrounding buildings on adjoining properties.**

Building height and profile in keeping with the character of surrounding development as shown by the photos of adjacent dwellings below:



Lot 8a



Lot 8b





Lot 9

**As many of the existing trees, as practicable, should be retained as part of the overall landscape design.**

The proposed addition is in a forested area with trees. An estimated 50 young trees/shrubs would be removed by the applicant for the proposed addition.

**Site design should incorporate, where appropriate, design elements to protect and enhance riparian areas, watercourses and sensitive eco-system elements.**

In order to ensure that the environmental integrity of the site is preserved, Staff will be recommending:

- Prior to commencement of site disturbance, snow fencing be installed 15 metres from the natural boundary of Kootenay Lake

**Retention of green space and common lands in strata subdivisions shall be covenanted against further subdivision.**

The proposal does not include further subdivision of subplot 6. Division of shared interest lots has already occurred.

Figure 1: Kootenay Bay Properties Site Plan

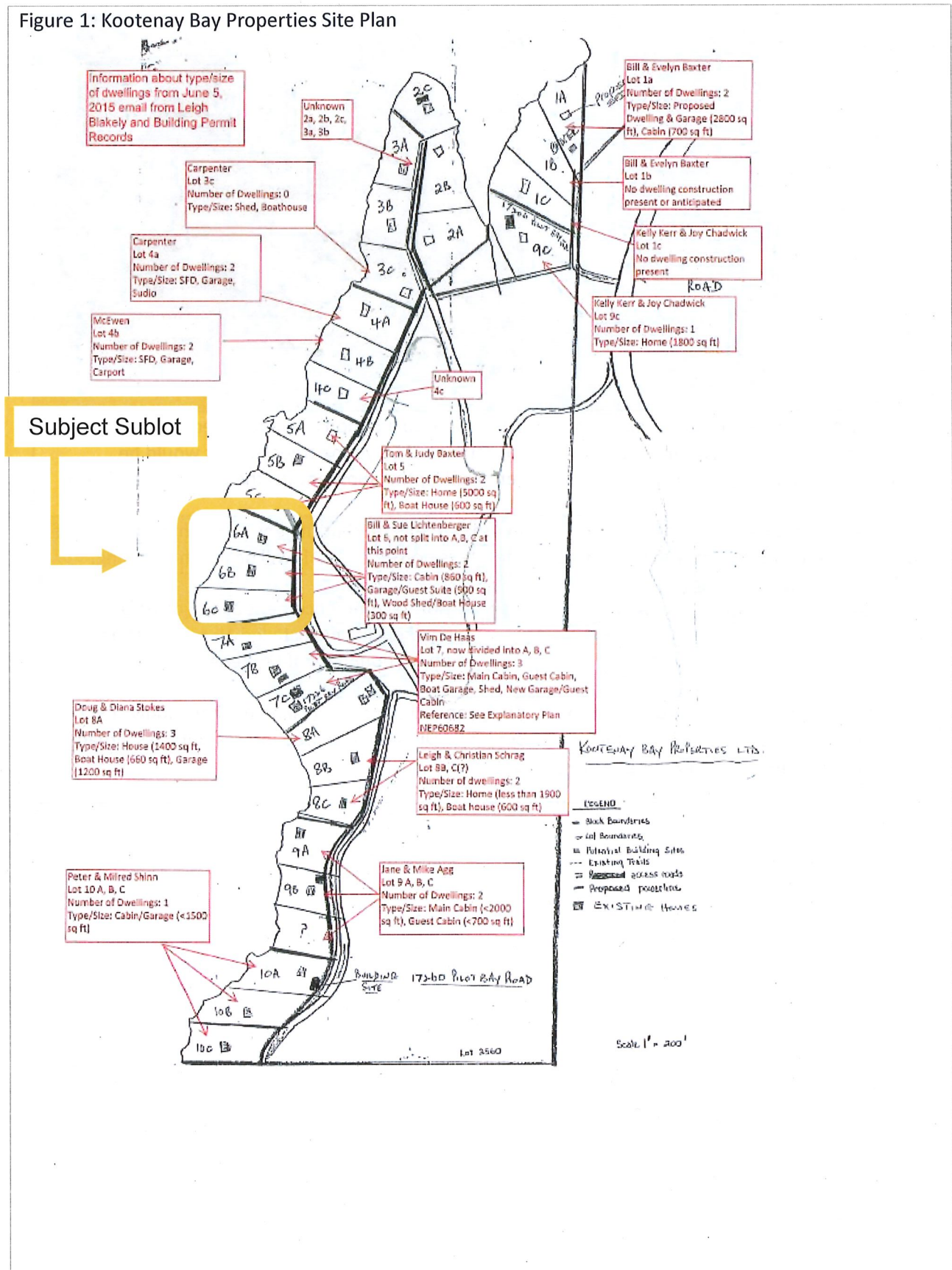




Figure 2: 17234 Pilot Bay Road Site Plan

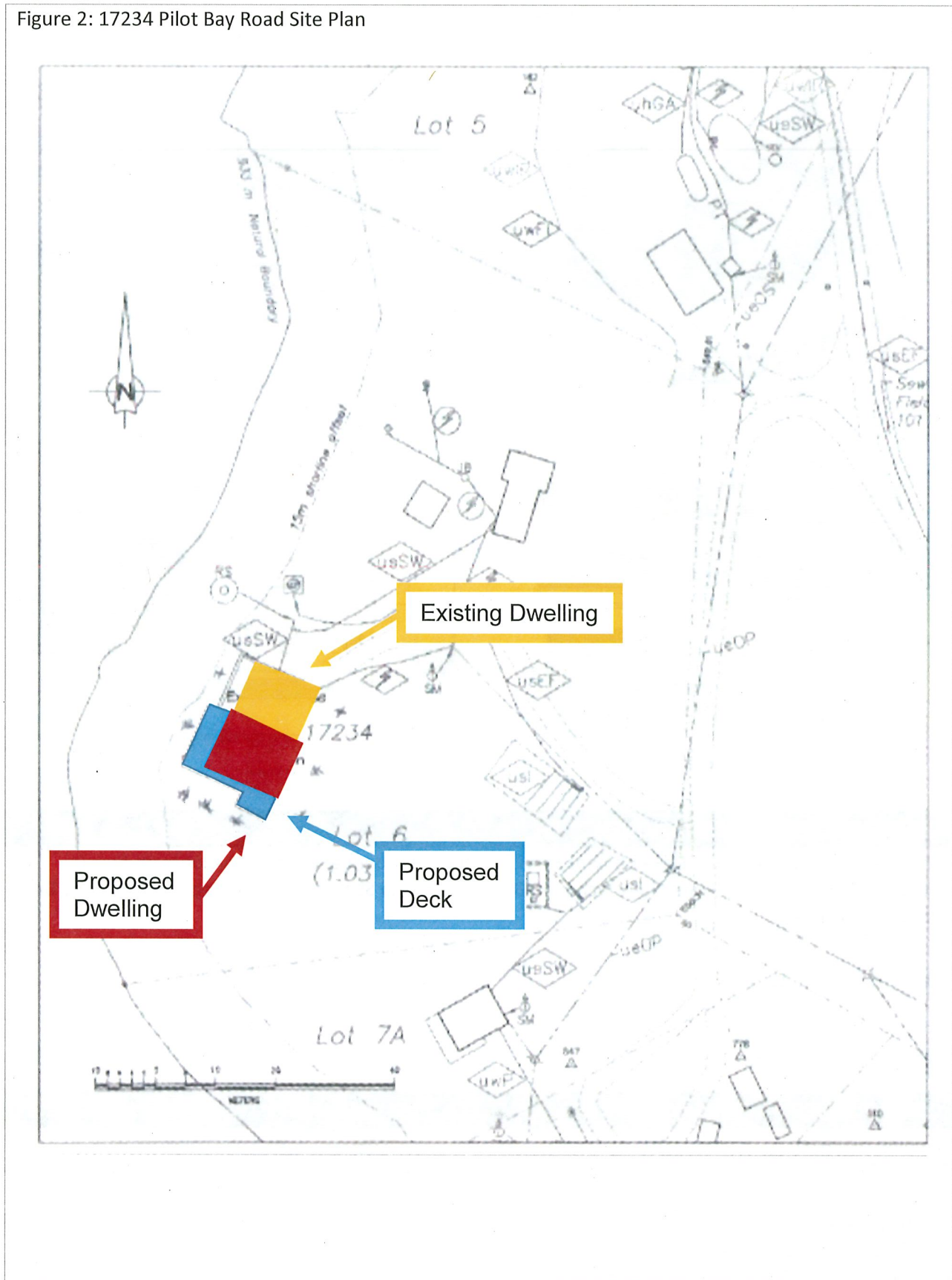
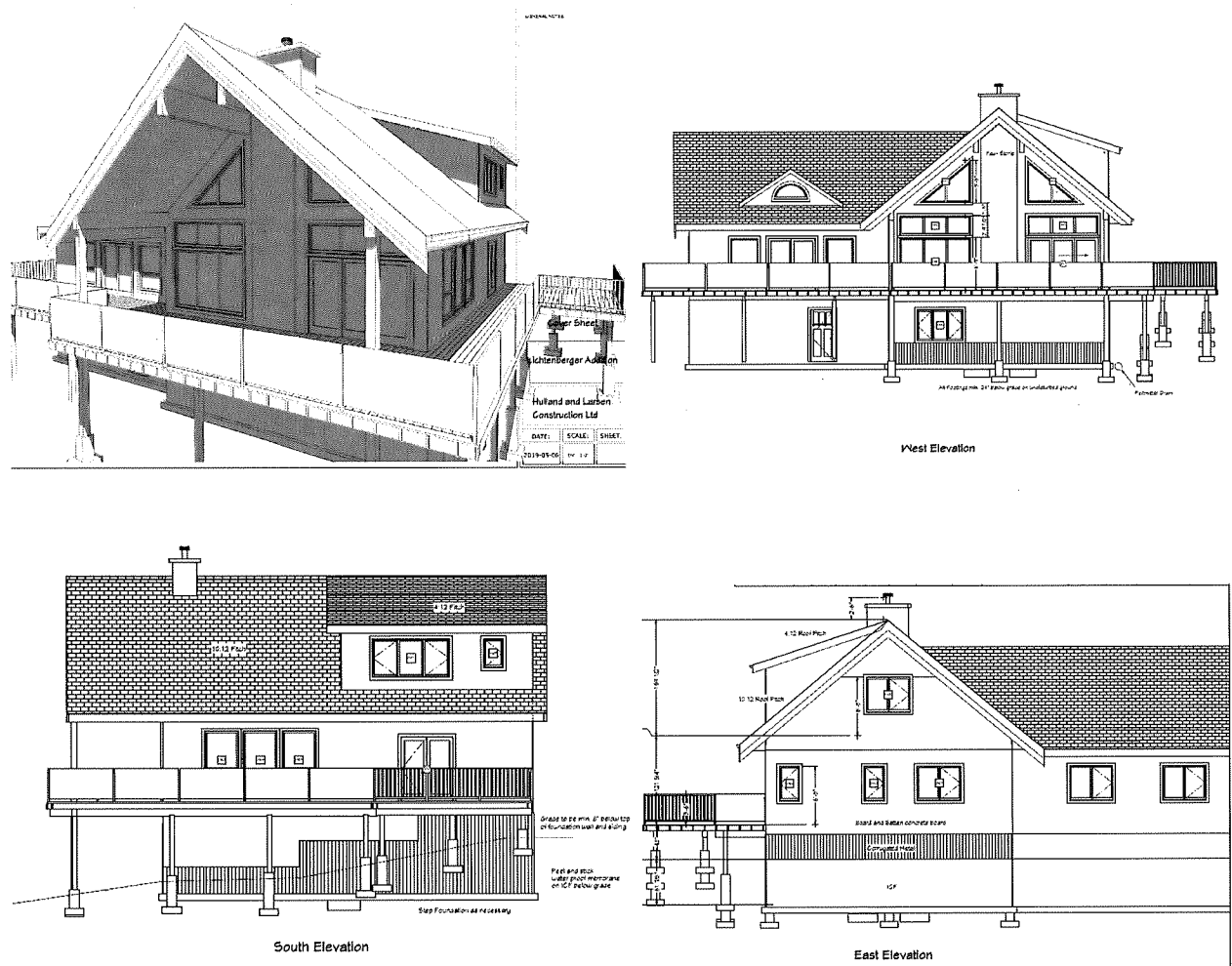


Figure 3: Proposed Residential Addition Elevations



**SECTION 5: RECOMMENDATION(S)**

That the General Manager of Development Services issue a Residential Cluster Development Permit (RCDP) with conditions outlined in Attachment B to William and Suzanne Lichtenberger of Kootenay Bay Properties Limited.

Respectfully submitted,

*[Signature]*  
 Darcy Roszell, Planner

**CONCURRENCE**

for  
 Planning Manager  
 General Manager of Development Services

**Initials:**

*[Handwritten initials]*

- ATTACHMENTS:**  
 Attachment A – Applicant Submission Documents  
 Attachment B – DRAFT Development Permit

To the Board of Kootenay Bay Properties

March 18, 2019

We would like to give notice that we are applying to build an addition to our original cabin. The addition will be approximately 1041 sq feet. We are hiring Hlland and Larson to do the construction. We have forwarded our plans. When we originally built our cabin, it was with the understanding that we would eventually add an addition when we retired. These plans are subject to septic approval and development approval along with building permit.

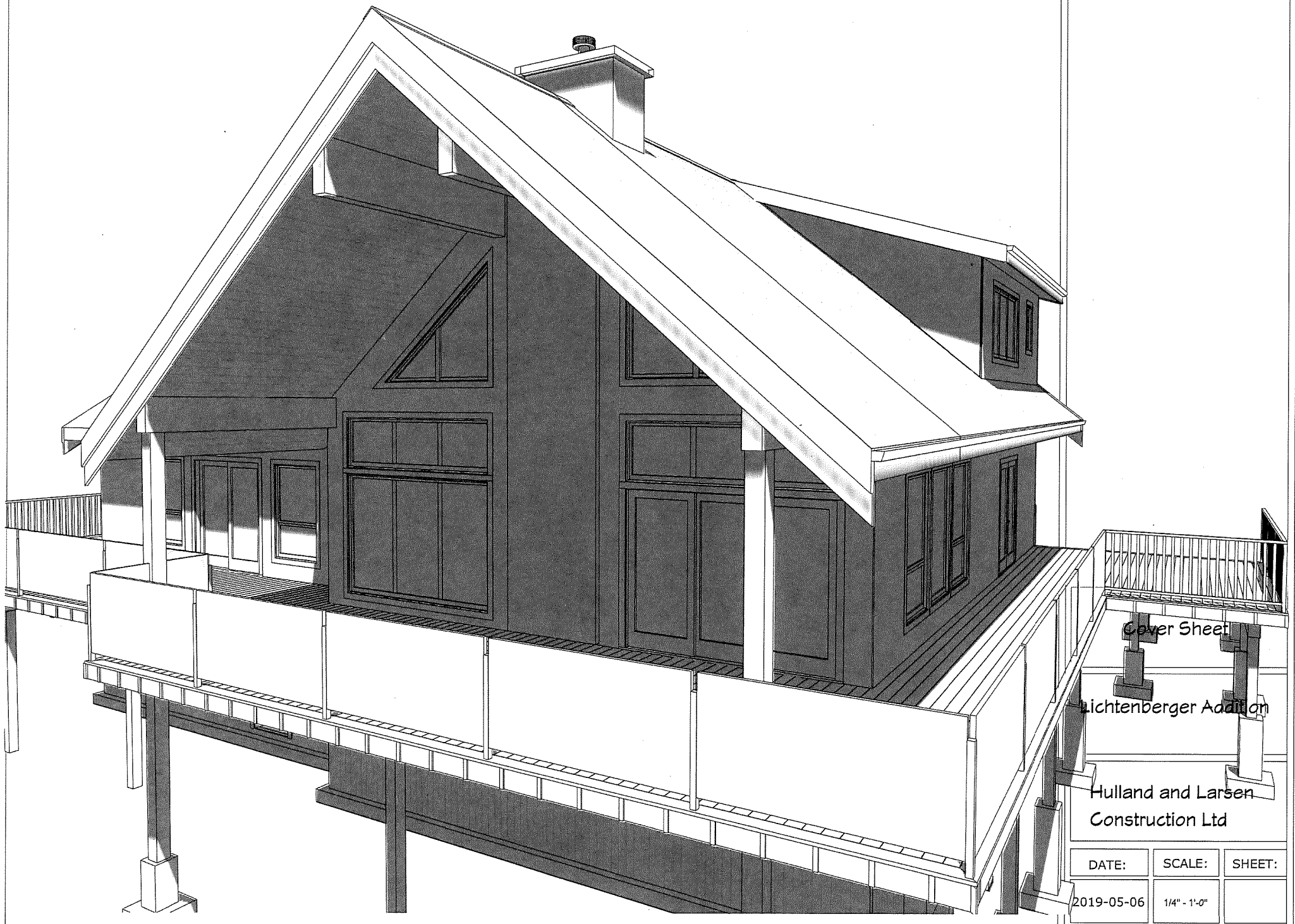
Sincerely,

Bill & Sue Lichtenberger



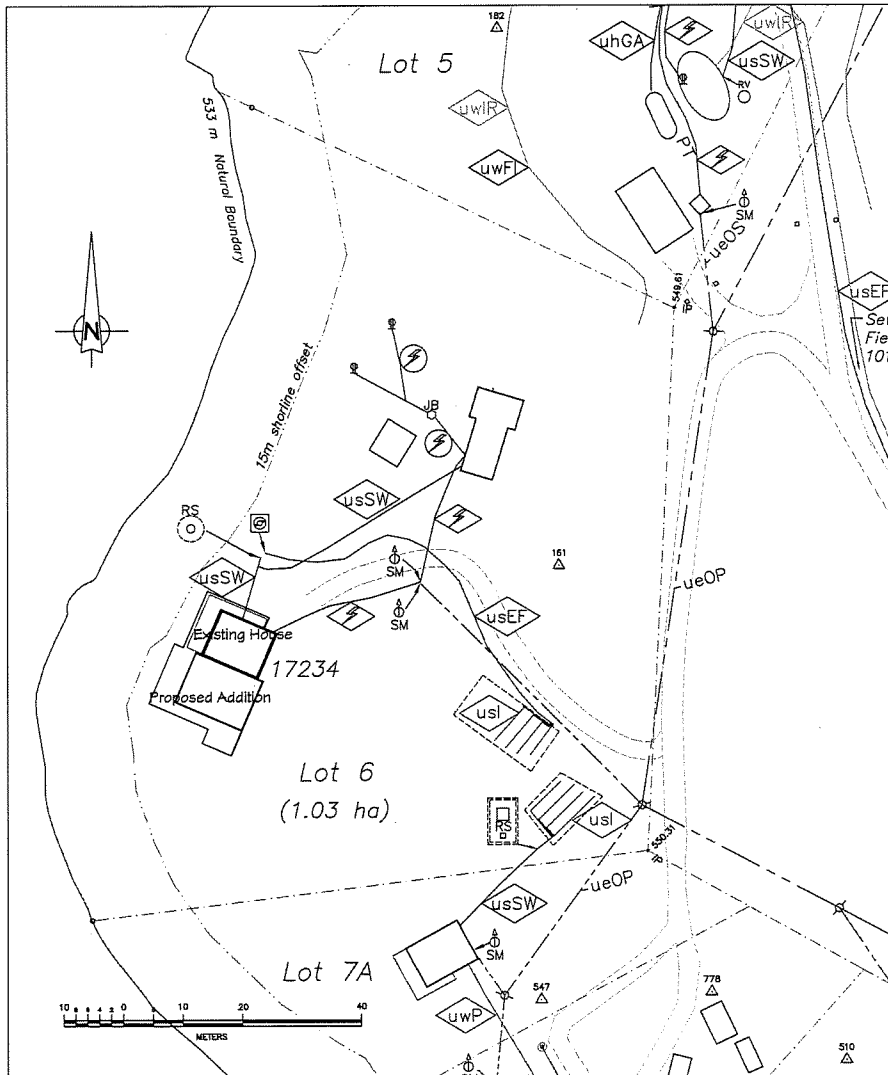


GENERAL NOTES:



Cover Sheet  
Lichtenberger Addition  
Hulland and Larsen  
Construction Ltd

DATE:	SCALE:	SHEET:
2019-05-06	1/4" - 1'-0"	



Features Map - Structures, Infrastructure, Boundary		LEGAL DESCRIPTION Lease Lot 6, DL 2560, Kootenay District	
Lichtenberger Residence		ADDRESS 17234 Pilot Bay Road	
DATE COMPLETED 2017-04-30	REVISED	SCALE 1:750	DWG kbp17prop2

**General Construction**

All construction shall comply with applicable building codes and bylaws and shall be the responsibility of the general contractor.

All electrical and mechanical construction shall be performed by certified contractors and shall comply with applicable regulations.

Contractor shall confirm any discrepancies in site conditions or design documents prior to construction.

Contractor shall provide copies of any required engineering documents to building officials.

**GENERAL NOTES:**

**Addition Building Description**

Interior finished floor area 1633 sq. ft.  
 Unfinished basement area 1064 sq. ft.  
 1 bedroom, 1.5 bathrooms  
 Standard wood frame construction  
 Concrete foundation walls with footings  
 200 amp electrical service by Fortis

**Heating**  
 Electric baseboard  
 Wood stove

Underground lines from pole to dwelling  
 Lake pump to dwelling  
 Gravity fed septic tank to pump chamber

**Page Legend**

Cover  
 A1.1 - site plan  
 A1.2 - foundation plan  
 A1.3 - main floor plan  
 A1.4 - loft and roof floor plan  
 A2.1 - east elevation view  
 with door and window schedule  
 A2.2 - west elevation view  
 A2.3 - south elevation view  
 A2.4 - section 1  
 A2.5 - section 2 and 3  
 E1.1 - main floor electrical plan  
 E1.2 - Loft electrical plan

Site Plan

Lichtenberger Addition

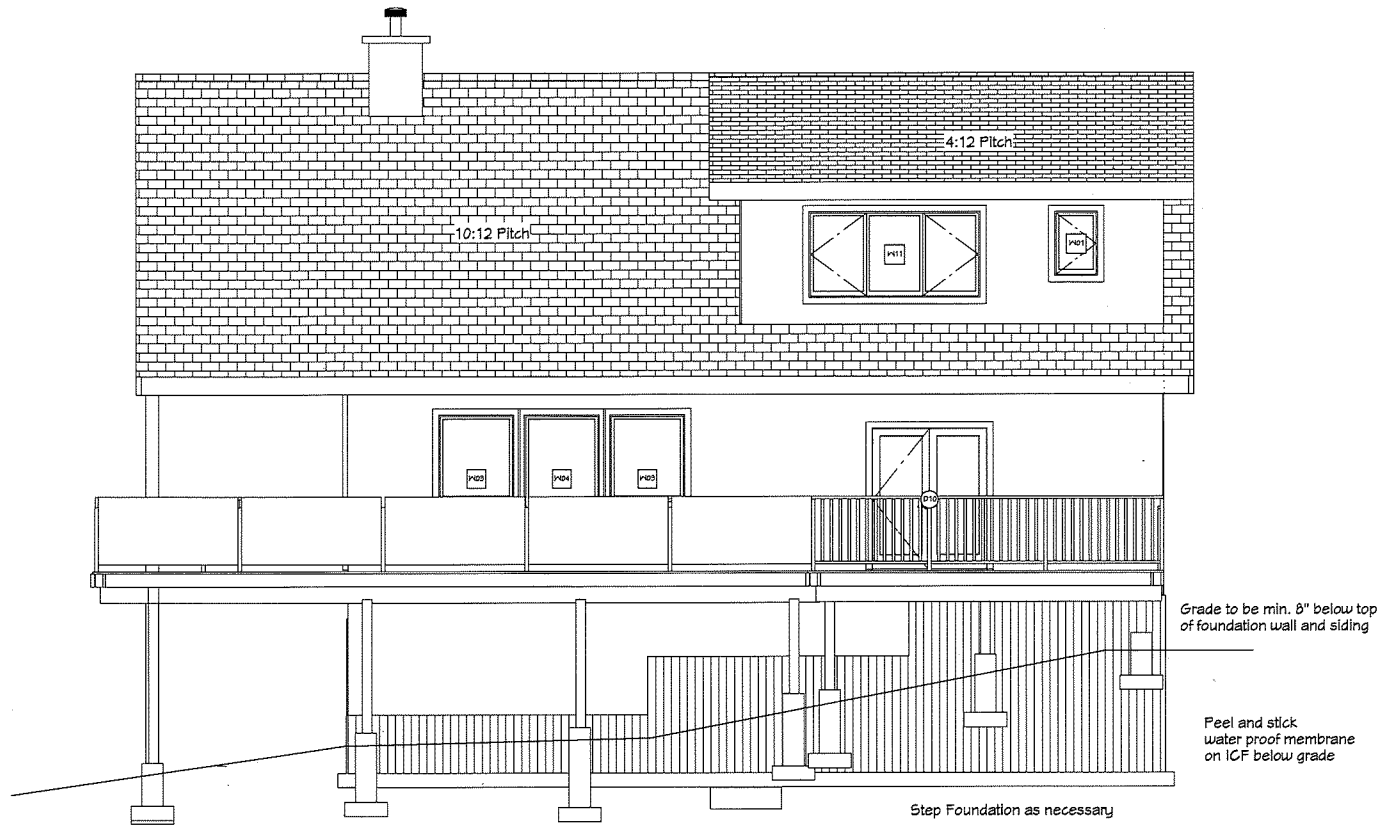
Hulland and Larsen  
 Construction Ltd

DATE:	SCALE:	SHEET:
2019-05-06	1:1482"=1"=30"	A1.1





GENERAL NOTES:



South Elevation

South Elevation View

Lichtenberger Addition

Hulland and Larsen  
Construction Ltd

DATE:	SCALE:	SHEET:
2019-05-06	1/4" - 1'-0"	A2.3

Rubber slate roof  
 5/8" plywood sheathing  
 Parallel chord truss or I-Rafter 24" OC  
 2" venting  
 R 40 Batt or Blown Insulation  
 6 mil vapor barrier

Gutter to drain pipe

Typical interior partition  
 1/2" gypsum wall board  
 2x4 studs 16" OC

Typical exterior wall  
 1/2" gypsum wall board  
 6 mil vapor barrier  
 2x6 studs  
 R 22 batt insulation  
 1/2" plywood sheathing  
 House wrap  
 Min 1/2" rain screen air gap  
 Hardi board siding  
 Pressure treated sill plate  
 on foam gasket

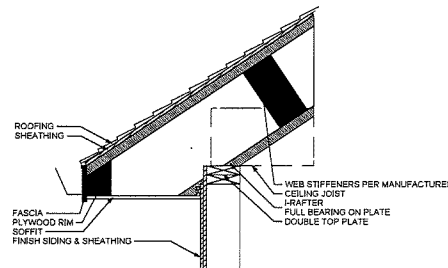
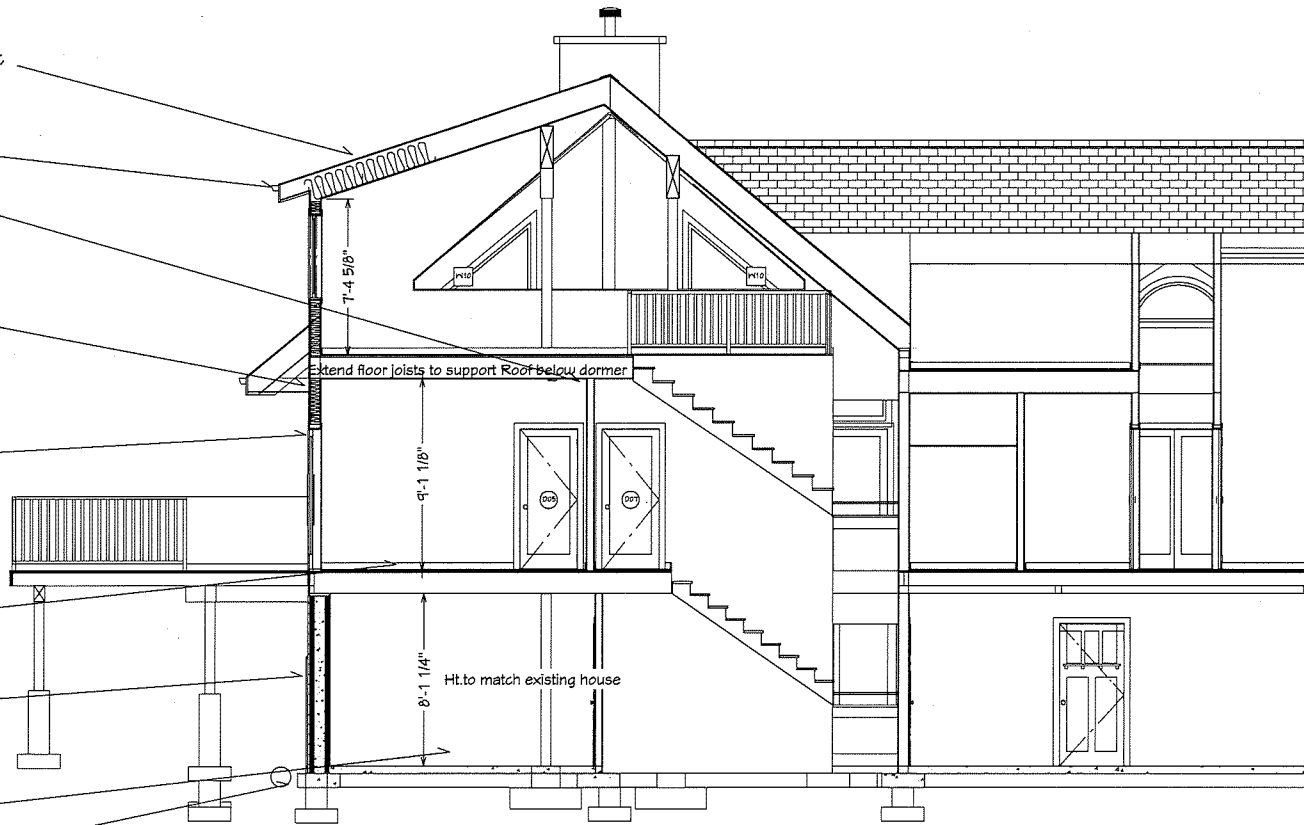
Typical window  
 double glazing  
 Aluminum clad exterior  
 Vinyl interior  
 NAFS-08 certified

Typical floor structure  
 Finish floor on 3/4" T&G plywood  
 subfloor  
 Additional 3/8" plywood under tile  
 surfaces  
 2x12 lumber 16" OC  
 1/2" gypsum wall board

Typical foundation  
 6" ICF foundation wall  
 Damp proofed below grade  
 Projecting min. 8" above grade  
 8"x24" footings on solid bearing min.  
 24" below grade

Typical slab  
 Finish floor on concrete slab  
 6 mil. poly vapor barrier

Perimeter drain  
 continuous porous backfill



I-Rafter: Soffited Eave

GENERAL NOTES:

Cement board and batten siding on addition  
 Cement board and batten siding to replace existing siding

Repaint existing window trim black to match new windows trim

Section 1

Lichtenberger Addition

Hulland and Larsen  
 Construction Ltd

DATE: SCALE: SHEET:

2019-05-06

1/4" = 1'-0"

A2.4

Section 1



GENERAL NOTES:

Section 2 and 3

Lichtenberger Addition

Hulland and Larsen  
Construction Ltd

DATE:	SCALE:	SHEET:
2019-05-06	1/4" - 1'-0"	A2.5