



REGIONAL DISTRICT OF CENTRAL KOOTENAY
DEVELOPMENT VARIANCE PERMIT
Planning File No. V2113B

Date: June 21, 2022

Issued pursuant to Section 498 of the *Local Government Act*

TO: J & B SMAGH ORCHARDS LTD., INC. NO. BC1030396

ADMINISTRATION

1. This Development Variance Permit (DVP) is issued subject to compliance with all of the bylaws of the Regional District of Central Kootenay (RDCK) applicable thereto, except as specifically varied or supplemented by this Permit.
2. The land described shall be developed strictly in accordance with the terms and conditions and provisions of this DVP, and any plans and specifications attached to this Permit that shall form a part thereof.
3. This DVP is not a Building Permit.

APPLICABILITY

4. This DVP applies to and only to those lands within the RDCK described below, and any and all buildings, structures and other development thereon, substantially in accordance with Schedules '1', '2' and '3':

Address: 3020 Erickson Road, Erickson

Legal: PARCEL 1 (REFERENCE PLAN 36260I) OF PARCEL "B" (SEE 6107I) LOT 13
DISTRICT LOT 812 KOOTENAY DISTRICT PLAN 730A EXCEPT PART INCLUDED
IN SRW PLAN 13512

PID: 006-219-446

CONDITIONS

5. Development Variance

Electoral Area 'B' Comprehensive Land Use Bylaw No. 2316, 2013 sub-section 16.17, is varied as follows for the accessory building shown in Schedules '2' and '3':

1. The minimum interior side (east and southern) setback for the proposed accessory structure is reduced from 2.5 metres to 1.5 metres to permit the existing unauthorized agricultural accessory building.


2. SUBJECT TO installation of a lattice panel(s) to partially screen the open area on the building's east elevation, and planting of cedar shrubs in a consistent lateral placement to screen the entire length of the building's eastern and southern elevations to provide a vegetative buffer from the neighbouring property.

6. Schedule

If the holder of the DVP does not substantially start any construction or does not register the subdivision with respect to which the permit was issued within two years after the date it is issued, the permit lapses.

Authorized resolution 418/22 passed by the RDCK Board on the 16th day of June, 2022.

The Corporate Seal of
THE REGIONAL DISTRICT OF CENTRAL KOOTENAY
was hereunto affixed in the presence of:

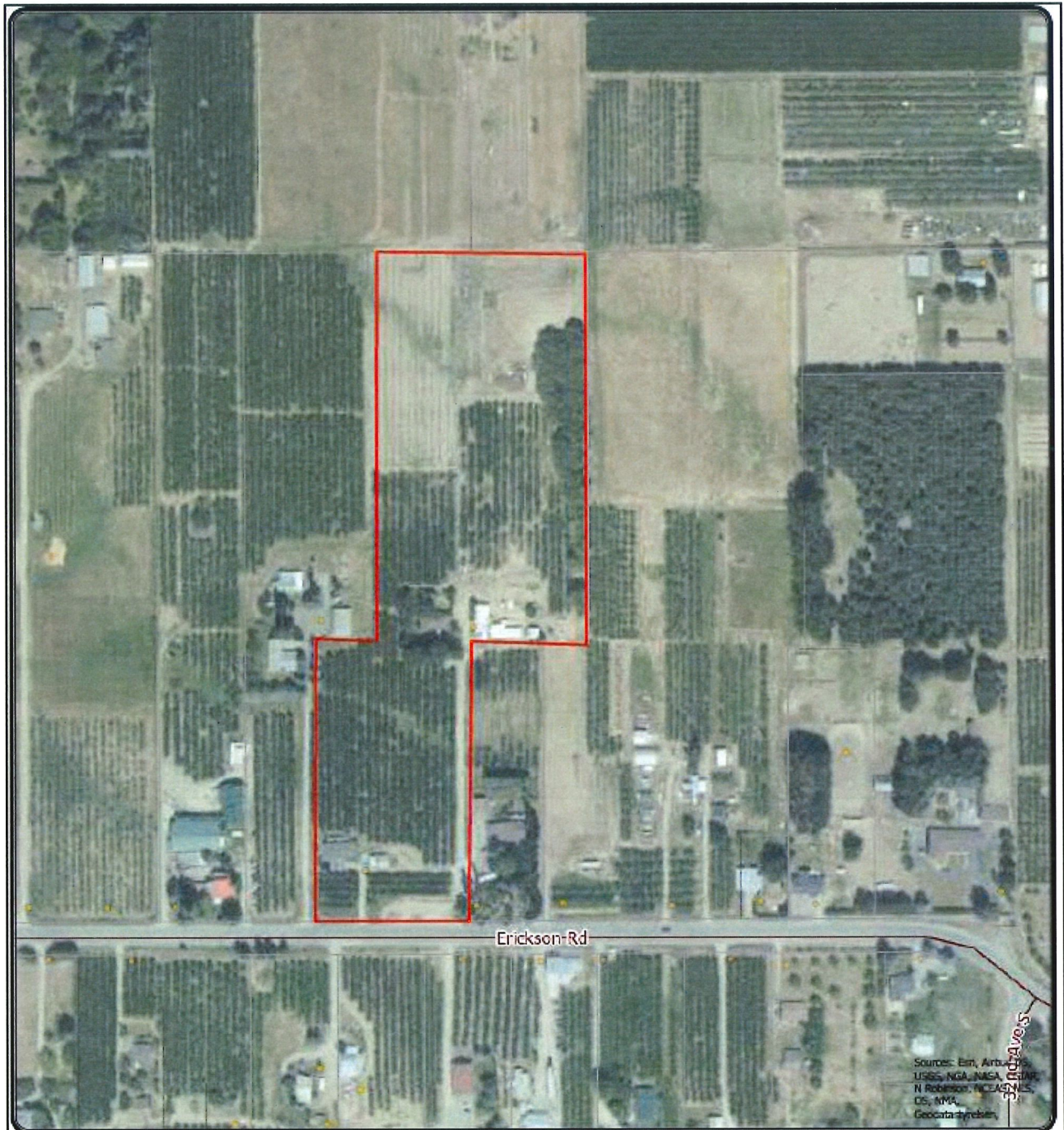


Aimee Watson, Board Chair



Mike Morrison, Corporate Officer

Schedule 1: Subject Property



Source: Esri, Airphoto, USDA, NGA, NASA, N Robinson, NCEM, USGS, NPS, NOAA, Geocartography



REGIONAL DISTRICT OF CENTRAL KOOTENAY
Box 590, 202 Lakeside Drive,
Nelson, BC V1L 5R4
Phone: 1-800-268-7325 www.rdck.bc.ca
maps@rdck.bc.ca

Legend

-  Electoral Areas
-  RDCK Roads
-  Cadastre
-  Civic Address

Map Scale:

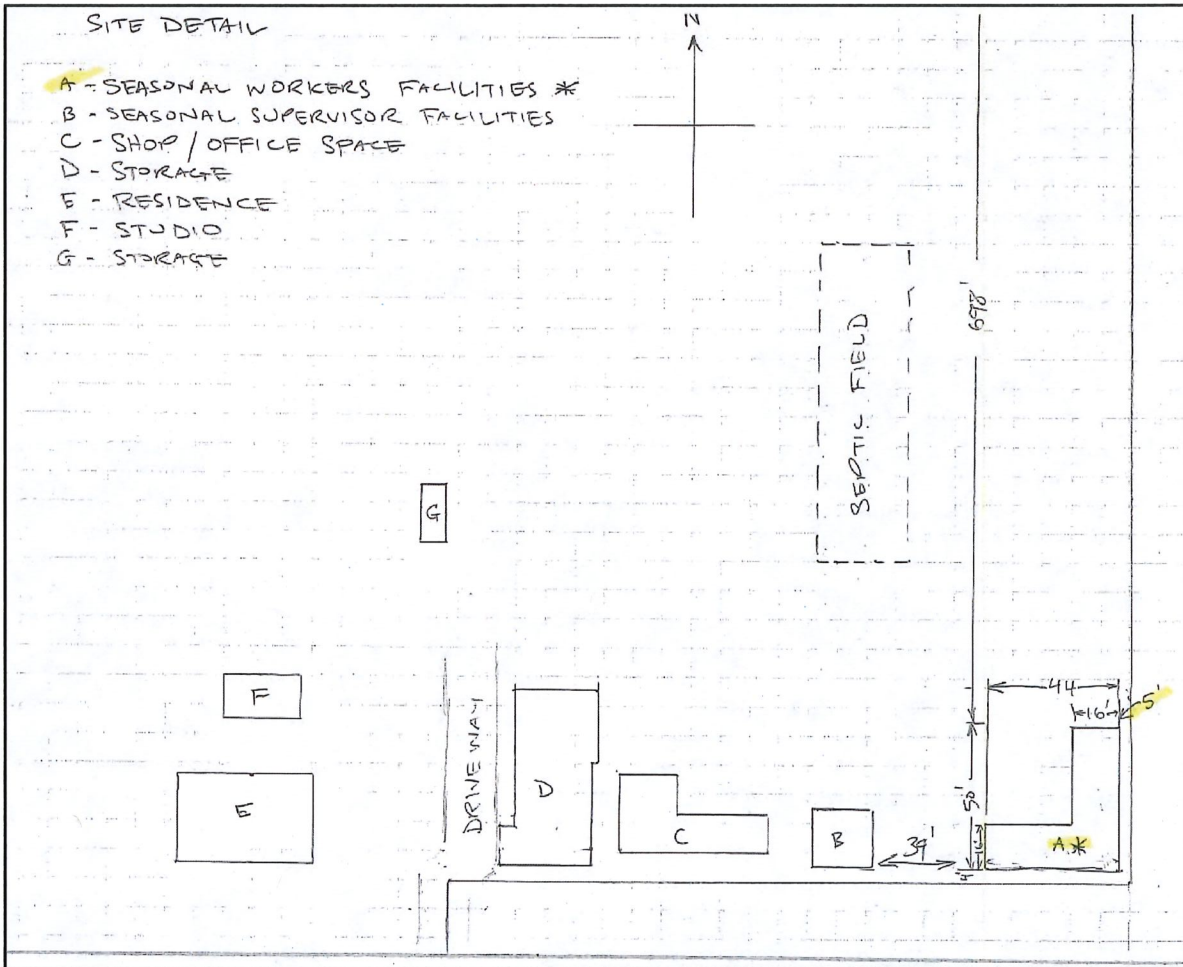
1:4,514



Date: January 4, 2022

The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

Schedule 2: Site Plan



Schedule 3: Building Photos



