



REGIONAL DISTRICT OF CENTRAL KOOTENAY

DEVELOPMENT VARIANCE PERMIT

Planning File No. V2201B

Date: May 25, 2022

Issued pursuant to Section 498 of the *Local Government Act*

TO: Juerg and Esther Salzgeber

ADMINISTRATION

1. This Development Variance Permit (DVP) is issued subject to compliance with all of the bylaws of the Regional District of Central Kootenay (RDCK) applicable thereto, except as specifically varied or supplemented by this Permit.
2. The land described shall be developed strictly in accordance with the terms and conditions and provisions of this DVP, and any plans and specifications attached to this Permit that shall form a part thereof.
3. This DVP is not a Building Permit.

APPLICABILITY

4. This DVP applies to and only to those lands within the RDCK described below, and any and all buildings, structures and other development thereon, substantially in accordance with Schedules '1', '2' and '3':

Address: 3115 Crestview Road, Lister

Legal: LOT 2 PLAN NEP15496 DISTRICT LOT 12716 KOOTENAY LAND DISTRICT
MANUFACTURED HOME REG. # 51365

PID: 009-280-111

CONDITIONS

5. Development Variance

Electoral Area 'B' Comprehensive Land Use Bylaw No. 2316, 2013 sub-section 18.8 and 18.9, are varied as follows for the accessory building shown in Schedules '2' and '3':

1. The maximum height of the proposed accessory building is increased from 8.0 metres to 8.23 metres; and

2. The maximum gross floor area for the proposed accessory building is increased from 200 m² to 261 m².

6. Schedule

If the holder of the DVP does not substantially start any construction or does not register the subdivision with respect to which the permit was issued within two years after the date it is issued, the permit lapses.

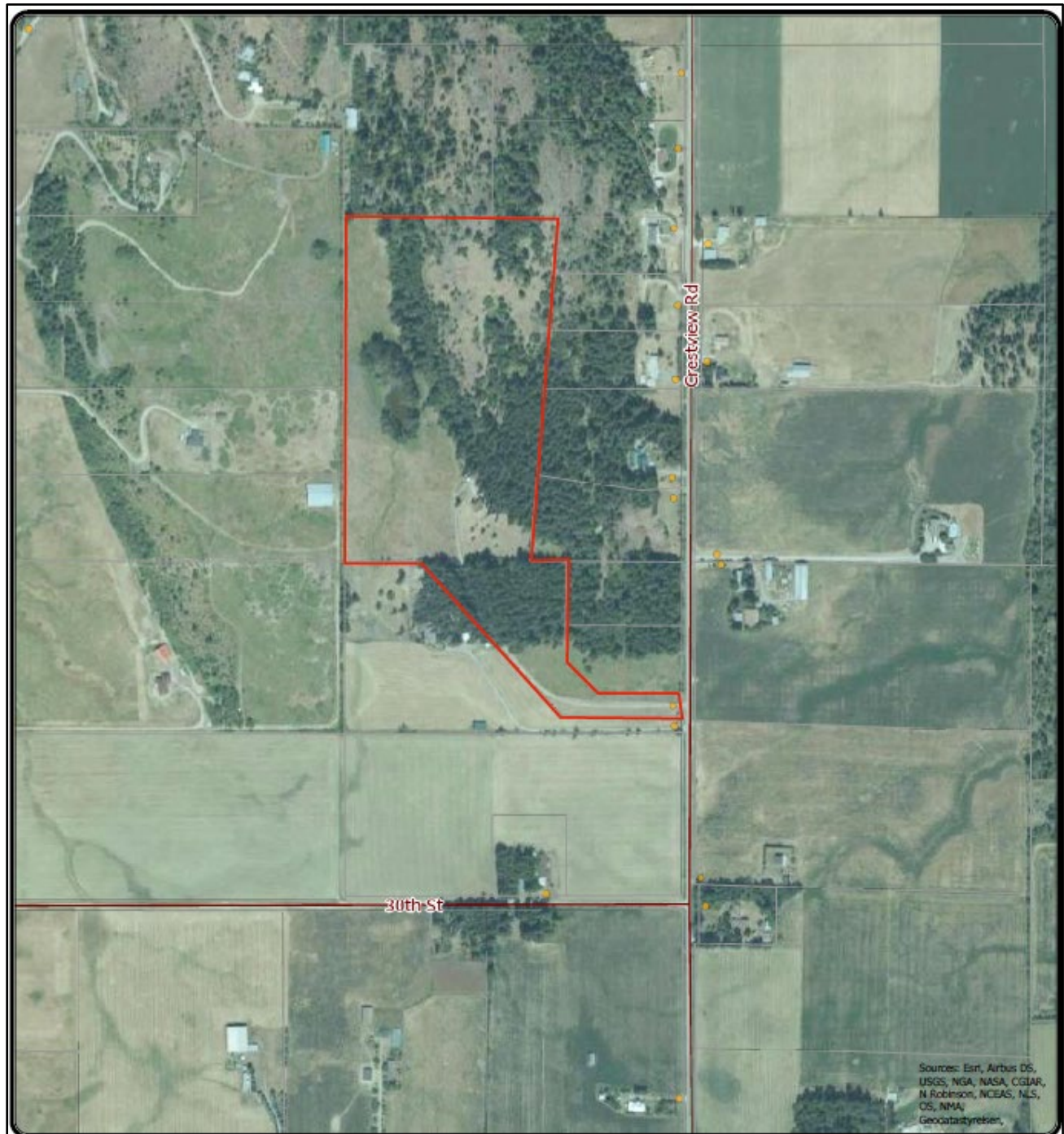
Authorized resolution 333/22 passed by the RDCK Board on the 19th day of May, 2022.

The Corporate Seal of
THE REGIONAL DISTRICT OF CENTRAL KOOTENAY
was hereunto affixed in the presence of:

Aimee Watson, Board Chair

Mike Morrison, Corporate Officer

Schedule 1: Subject Property







Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrien, Inc.



REGIONAL DISTRICT OF CENTRAL KOOTENAY
Box 590, 202 Lakeside Drive,
Nelson, BC V1L 5R4
Phone: 1-800-268-7325 www.rdck.bc.ca
maps@rdck.bc.ca

Legend

-  Electoral Areas
-  RDCK Roads
-  Cadastre
-  Civic Address

Map Scale:

1:0,028

Date: March 15, 2022



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

Schedule 2: Site Plan



Schedule 3: Building Elevations

PROPOSED 40' X 80' X 18' SHOP
JURGO SALZGEBER
 CRESTON, BC
 N 49° 03' 47.7" W 116° 28' 30"

DESIGN/CLIMATIC DATA

STRUCTURAL DESIGN IS ACCORDING TO:
 1. BRITISH COLUMBIA BUILDING CODE 2018
 2. ENGINEERED DESIGN IN WOOD CSA 086.19

IMPORTANCE CATEGORY: LOW

LOCATION: CRESTON, BC
 WIND: 41/103 - 0.309VA
 41/205 - 0.233VA
 SNOW: S1 = 0.18VA
 S2 = 0.18VA

GENERAL NOTES:

- ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES UNLESS NOTED OTHERWISE.
- THE STRUCTURAL DESIGN AND ALL WORK SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018.
- LOW OCCUPANCY CLASSIFICATION
- WINDOW AND DOOR SIZES SHOWN ARE NOMINAL ONLY. EXACT DIMENSIONS AND ROUND OPENING SIZES OF WINDOWS AND DOORS SHALL BE DETERMINED BY THE WINDOW AND DOOR MANUFACTURER PRIOR TO START OF CONSTRUCTION.
- RETENTION STRUCTURES ASSUMES NO RESPONSIBILITY FOR POTENTIAL FOUNDATION SETTLEMENT AND/OR FROST HEAVE AS A GEOTECHNICAL INVESTIGATION WAS NOT CONDUCTED FOR THIS PROJECT.

CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL FOLLOW:
 - THE BRITISH COLUMBIA BUILDING CODE 2018.
 - LOCAL CODES AND BYLAWS
 - BRITISH COLUMBIA OCCUPATIONAL HEALTH AND SAFETY REGULATIONS
- FIELD CONTRACTOR SHALL OBTAIN ANY NECESSARY FIELD DRAWINGS TO PERFORM THE WORK REQUIRED ON THE DRAWINGS
- UNLESS STRUCTURAL COMPONENTS CREATED OR REFORCED DURING CONSTRUCTION SHALL BE REFERRED TO INTERITY.
- DRAWINGS SHOW THE COMPLETED STRUCTURE, BUT MAY NOT SHOW COMPONENTS REQUIRED TO COMPLETE THE WORK IN A SAFE MANNER. THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL PUBLIC DURING ALL PHASES OF CONSTRUCTION.
- THE FIELD CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY RELOCATION OF SERVICES THAT INTERFERE WITH CARRYING OUT THE WORK.
- THE FIELD CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION.
- GRAVEL TO BE 40mm GRAINED GRAVEL WHICH SHALL BE CLEAN AND FREE FROM ORGANIC MATTER. GRAVEL SHALL BE HAND-COMPACTED DURING BACKFILL TO THE EXTENT POSSIBLE.
- ALL STRUCTURAL LUMBER INCLUDING BRAMS, POSTS, STRAPPING AND BRACING SHALL BE SPF NO. 1 / NO. 2 UNLESS NOTED OTHERWISE.
- ORIENTED STRAND BOARD (OSB) TO ADHERE TO CSA 04.17
- FINAL EXTERIOR GRADE TO SLOPE MINIMUM 2% AWAY FROM PERIMETER OF BUILDING.
- ROOF VENTING AS PER THE BRITISH COLUMBIA BUILDING CODE 2018.

REFERENCE DRAWING INDEX

DWG	TITLE	SHEET NO.
INT-001	INTERITY STANDARD DETAILS	1 TO 5
FRS-STD-003	OVERHEAD DOOR FRAMING END WALL	1 TO 4
FRS-STD-005	WALL ROOF METAL CLADDING DETAILS	1 TO 4
FRS-STD-007	EXTERIOR STRAPPING	1 TO 3
FRS-STD-008	MAIN DOOR WINDOW FRAMING DETAILS	1 TO 3
FRS-STD-012	ROOF CAVELIGHT DETAILS	1 TO 3

DRAWING INDEX

DWG	TITLE
A1.00	COVER SHEET
A2.01	MAIN FLOOR PLAN
A2.02	ELEVATIONS
A3.01	SECTIONS
A3.02	POST DETAILS

LEGEND

SYMBOL	DESCRIPTION
◆	WALL TYPE
◊	WINDOW TYPE
◐	DOOR TYPE
⊖	ROOM NUMBER
⊕	CEILING TYPE
⊖	CEILING HEIGHT

ASSEMBLIES

- ◐ CEILING TYPE
 - STANDARD ROOF CAP WITH ROOF FLOW SEALANT INCLUDING A 3/4" RB
 - PREMIUM 26 GAUGE HI-TENSILE C26 PROFILE METAL INCLUDING A 3/4" RB
 - 5/16" C PRE-ENGINEERED TRUSSES
 - R20 CELLULOSE INSULATION
 - NO. 20 CEILING JOIST
 - PREMIUM 29 GAUGE HI-TENSILE F26 PROFILE METAL INCLUDING A 3/4" RB
- ◆ EXTERIOR WALL - EAVE WALL
 - PREMIUM 29 GAUGE HI-TENSILE F26 PROFILE METAL INCLUDING A 3/4" RB
 - LAMINATED POST WITH FERMA COLUMN
 - 6mm CSB VAPOR BARRIER
 - R28 WALL INSULATION
 - PREMIUM 29 GAUGE HI-TENSILE F26 PROFILE METAL INCLUDING A 3/4" RB
- ◆ EXTERIOR WALL - GABLE WALL
 - PREMIUM 29 GAUGE HI-TENSILE F26 PROFILE METAL INCLUDING A 3/4" RB
 - LAMINATED POST WITH FERMA COLUMN AND INTERITY POST DISC
 - 6mm CSB VAPOR BARRIER
 - 2x4 STRAPPING @ 2' O.C. (INTERIOR)
 - PREMIUM 29 GAUGE HI-TENSILE F26 PROFILE METAL INCLUDING A 3/4" RB

FRONT SIDE

REAR SIDE

PROJECT TITLE: 40' X 80' X 18' SHOP

JURGO SALZGEBER
 CRESTON, BC

COVER SHEET

REV	DESCRIPTION	DATE
A	APPROVAL	2022/01/28
B	APPROVAL	2022/01/27
0	PRELIM	2022/01/28

ENGINEERING CONSULTANT

KS
 KESLER GROUP INC.
 Kelloggton Structures

ISSUED FOR:

REV	DESCRIPTION	DATE
A	APPROVAL	2022/01/28
B	APPROVAL	2022/01/27
0	PRELIM	2022/01/28

PROJECT NUMBER: 22-017

DATE: 2022/01/28

DRAWN BY: JP

CHECKED BY: DS

DESIGNED BY: DS

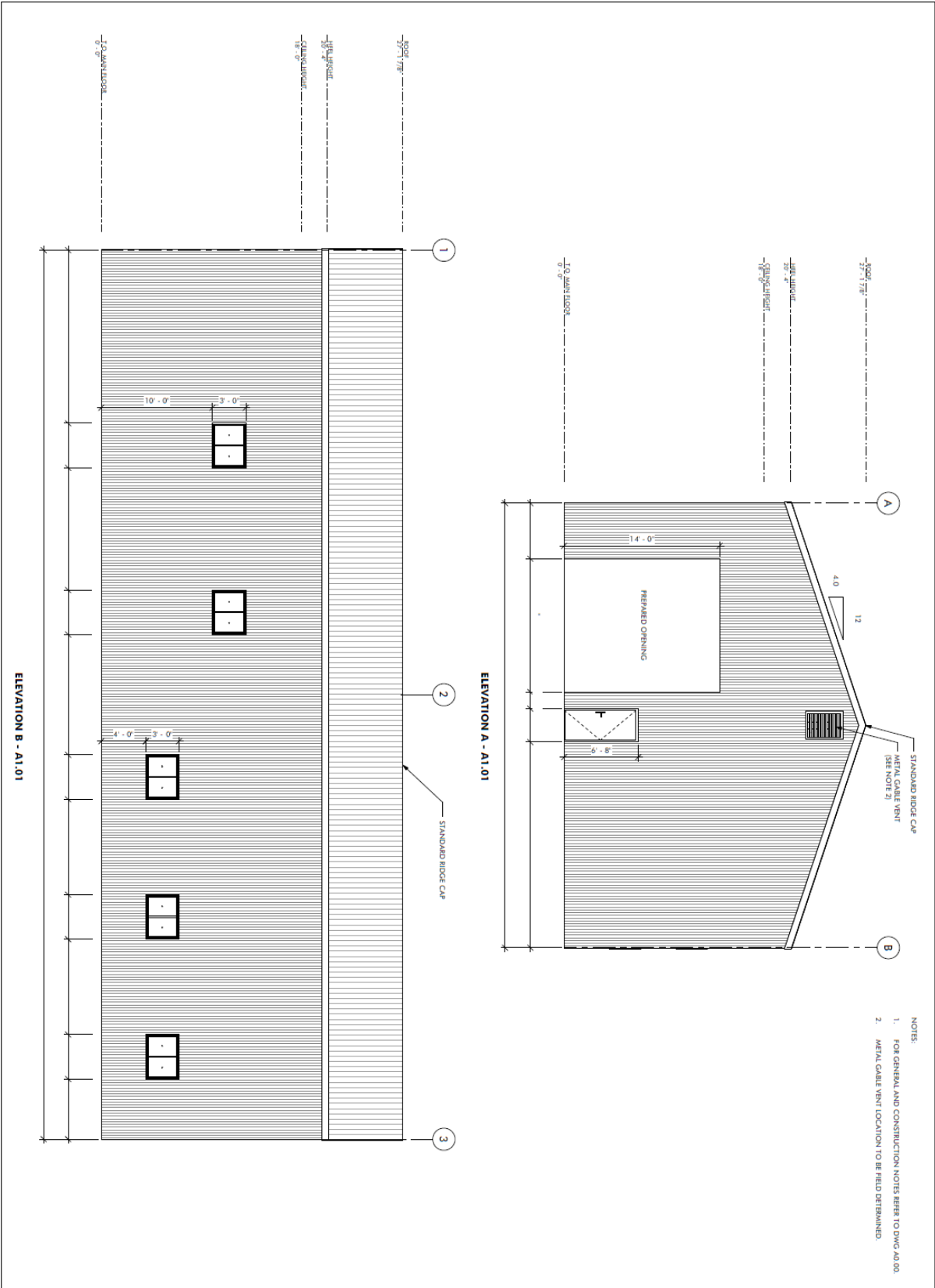
ENGINEER: BM

SCALE: 1/4" = 1'-0"

48223 328 AVE. E. OKTOGON, AB T1S 1A8 (403) 583-5918

INTEGRITY BUILDINGS

THIS IS COPYRIGHT DRAWING AND DESIGN AND SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT THE WRITTEN PERMISSION OF INTEGRITY BUILDINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, SPACINGS, ALTERATIONS AND OMISSIONS TO THE DRAWING PRIOR TO COMMENCING THESE DRAWING ARE NOT TO BE SCALED.



- NOTES:
1. FOR GENERAL AND CONSTRUCTION NOTES REFER TO DWG A0.00.
 2. METAL GABLE VENT LOCATION TO BE FIELD DETERMINED.



48223 138 AVE E. OXOTON, AB T1S 1A6
(403) 558-9238

THIS IS COPYRIGHT DRAWING AND DESIGN AND SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION OF INTEGRITY. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND BEFORE ALL OTHER WORK COMMENCES TO THE DRAWING AND BEFORE COMMENCING THE WORK. THESE DRAWINGS ARE NOT TO BE SCALED.



ENGINEERING CONSULTANT



ENGINEERING CONSULTANT

REV	DESCRIPTION	DATE
A	APPROVAL	2022/01/20
B	APPROVAL	2022/01/27
0	REVISION	2022/01/28

PROJECT TITLE:

40' X 80' X 18'

SHOP

JUERG SALZGEBER

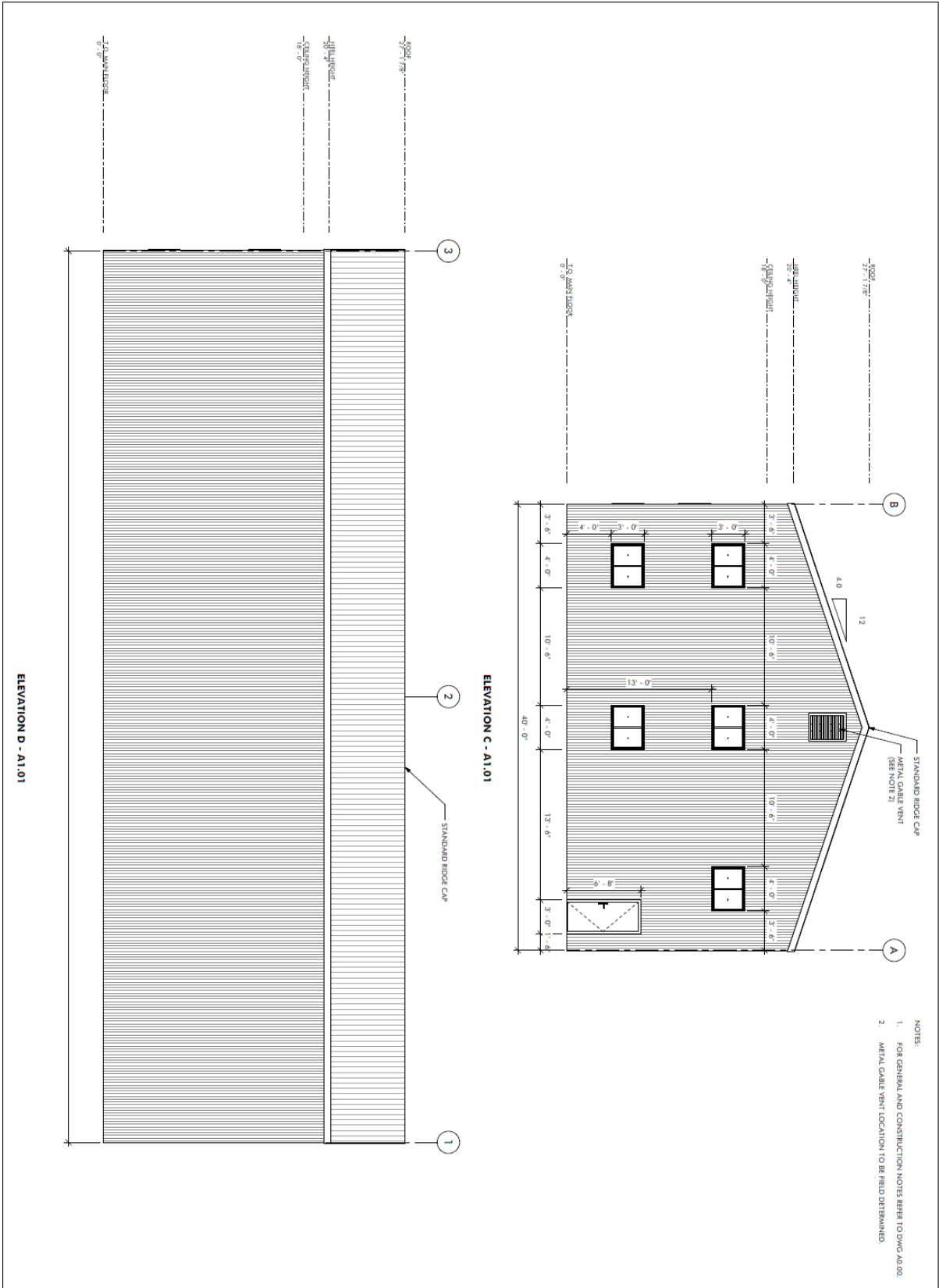
CRESTON, BC

ELEVATIONS

PROJECT NUMBER	2022-01-20
DATE	22-01-7
DRAWN BY	JF
CHECKED BY	TK
DESIGNED BY	TK
ENGINEER	RM

A2.01

SCALE 1/4" = 1'-0"



		<p>48223 338 AVE E. ONTARIO, AB T1S 1A8 (403) 938-9376</p>																		
<p>KS Kajastone Structures</p> <p>ENGINEERING CONSULTANT 2022-Jan-31</p>		<p>THIS IS COPYRIGHT DRAWING AND DESIGN AND SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.</p> <p>THE CONTRACTOR SHALL CHECK AND ALL ERRORS AND OMISSIONS TO THE ENGINEER PRIOR TO COMMENCING THE WORK. DRAWINGS ARE NOT TO BE SCALED.</p>																		
<p>PROJECT TITLE: 40' X 80' X 18' SHOP JUERG SALZGEBER CRESTON, BC</p> <p>DRAWING TITLE: ELEVATIONS</p>		<p>PROJECT NUMBER: 22-017 DRAWN BY: 2022/01/27 CHECKED BY: TM APPROVED BY: CJ ENGINEER: BM</p> <p>A2.02</p> <p>SCALE: 1/8" = 1'-0"</p>																		
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