



REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 Lakeside Drive, NELSON, BC V1L 5R4
 ph: 250-352-8165 fax:: 250-352-9300 email: rdck@rdck.bc.ca

RDCK Planning File No. Z2206J
Amendment to Zoning Bylaw No. 1675, 2004
Date: April 11, 2022

You are requested to comment on the attached Amendment Bylaw(s) for potential effect on your agency's interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO May 26, 2022). If no response is received within that time, it will be assumed that your agency's interests are unaffected. This referral notice has also been provided to adjacent property owners within 100 metres (328 feet) or greater of the subject property for review and comment.

PURPOSE OF THE BYLAW: The proposal is to remove an existing garage, and construct a new garage with a secondary suite. The current zone, which is Rural Residential (R3) does not have a provision for secondary suites. The proposal is to amend the zone to Country Residential K (R2K) site specific to enable the secondary suite on a property that does not meet the minimum site area of 1 hectare.

LEGAL DESCRIPTION & GENERAL LOCATION:
 Meadowbrook Drive, Castlegar BC
 Lot 1, District Lot 11912, Kootenay District, Plan EPP82210

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING DESIGNATION	OCP DESIGNATION
0.73 hectares (1.979 acres)	N/A	Rural Residential (R3)	Rural Residential (RR)

APPLICANT/AGENT:
 WSA Engineering

OTHER INFORMATION: ADVISORY PLANNING COMMISSION PLEASE NOTE:
 If your Advisory Planning Commission plans to hold a meeting to discuss this Bylaw Amendment application, please note that the applicants must be provided with an opportunity to attend such meeting, in accordance with Section 461, subsection (8) of the *Local Government Act*, which reads as follows:

"If the commission is considering an amendment to a plan or bylaw, or the issue of a permit, the applicant for the amendment or permit is entitled to attend meetings of the commission and be heard."

Please fill out the Response Summary on the back of this form. If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this bylaw.

Eileen Senyk

Eileen Senyk, PLANNER
REGIONAL DISTRICT OF CENTRAL KOOTENAY

- TRANSPORTATION West Kootenay
 - HABITAT BRANCH
 - FRONT COUNTER BC (FLNRORD)
 - AGRICULTURAL LAND COMMISSION
 - REGIONAL AGROLOGIST
 - ENERGY & MINES
 - MUNICIPAL AFFAIRS & HOUSING
 - INTERIOR HEALTH HBE Team, Nelson
 - KOOTENAY LAKES PARTNERSHIP
 - SCHOOL DISTRICT NO. 20
 - WATER SYSTEM OR IRRIGATION DISTRICT
 - UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)
- REGIONAL DISTRICT OF CENTRAL KOOTENAY
 DIRECTORS FOR:
 A B C D E F G H I J K
- ALTERNATIVE DIRECTORS FOR:
 A B C D E F G H I J K
- APC AREA J
 - CITY OF CASTLEGAR
 - RDCK FIRE SERVICES – DISTRICT CHIEF (BY AREA)
 - RDCK EMERGENCY SERVICES

- FIRST NATIONS
- KTUNAXA NATION COUNCIL (ALL REFERRALS)
 - YAQAN NU?KIY (LOWER KOOTENAY)
 - ?AKINK'UM?ASNUQ?I?IT (TOBACCO PLAINS)
 - ?AKISQNUK (COLUMBIA LAKE)
 - ?AQ'AM (ST. MARY'S)
 - OKANAGAN NATION ALLIANCE
 - C'ƏC'ƏWIXA? (UPPER SIMILKAMEEN)
 - K?K'ƏR'MÍWS (LOWER SIMILKAMEEN)
 - SNPÍNTKTN (PENTICTON)
 - STQA?TKWƏ?WT (WEST BANK)
 - SUKNAQÍN?X (OKANAGAN)
 - SWÍWS (OSOYOOS)
 - SPAXOMƏN (UPPER NICOLA)
 - SHUSWAP NATION TRIBAL COUNCIL
 - KENPÉSQT (SHUSWAP)
 - QW?EW?T (LITTLE SHUSWAP)
 - SEXQELTQÍN (ADAMS LAKE)
 - SIMPCW ((SIMPCW)
 - SKEMTSIN (NESKONLITH)
 - SPLATSÍN (SPLATSÍN FIRST NATION)

- RDCK BUILDING SERVICES
- RDCK UTILITY SERVICES
- RDCK REGIONAL PARKS

- TK'EMLUPS BAND
- SKEETCHETN INDIAN BAND

The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), info@rdck.bc.ca, or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

RESPONSE SUMMARY

PLANNING FILE NO.: Z2206J APPLICANT: TASSONE C/O WSA ENGINEERING

Name: Date:




Agency: Title:

**RETURN TO: EILEEN SENYK, PLANNER
DEVELOPMENT SERVICES
REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 LAKESIDE DRIVE**

NELSON, BC V1L 5R4
plandept@rdck.bc.ca



50 metres

-  Subject_Property
-  Electoral Boundaries
-  Lot Lines

Subject Property Outlined in Yellow

473

Regional District of Central Kootenay City of Castlegar

Source: Esri, Maxar, GeoEye, Earthstar, IGN, and the GIS User Community

Bylaw Amendment Z2206J - Tassone

Map Projection: UTM Zone 11 Map Datum: NAD83
Date Plotted: Monday, April 11, 2022



March 1, 2022

Project Number: C21001 – 081

Regional District of Central Kootenay
Box 590, 202 Lakeside Drive
Nelson, BC
V1L 5R4

Attn: Planning Department

RE: TASSONE PROPERTY REZONING APPLICATION – DESIGN BRIEF

The following is in reference to the rezoning application for Lot 1, District Lot 11912, Kootenay District, Plan EPP82210, located off Meadowbrook Drive in Castlegar, BC.

BACKGROUND

The subject property is located in Area J off the RDCK and is accessed off of Meadowbrook drive and Tassone Place. It is currently zoned Residential 3 (R3) and is listed in the Official Community Plan at Rural Residential (RR). The property is 1.979 acres (0.727hectares) and slopes upward from East to West.



Figure 1: Subject Property

The property has an existing home and garage located on the Eastern portion of the lot. The Tassones would like to remove the existing garage to construct a new garage with a secondary suite. This new structure would consist of a garage/shop area on the lower floor with a living area located above. There is no existing zone within Area J that allows for a suite in an accessory structure. We have based our application on the Country Residential K (R2K) Zone as it most closely matches the proposed development.

PROPOSAL - TASSONE PROPERTY

The Tassones have applied for a building permit to construct a garage with mezzanine. It is the intention of the rezoning to allow for the mezzanine of this garage to be turned into a living area. The garage has been designed to be compliant with the existing zoning. As an accessory building it is smaller in size (GFA) than that of the primary use, it does not exceed the allowable site coverage, and it meets the height requirements laid out in both the existing zone (R3) and that of the closest carriage house allowing zone (R2K).

The following is a summary of the Tassone property and the relevant zoning requirements requiring inclusion in the new zone:

Proposed Use

Dwellings: One-Family

Accessory Uses: Carriage House

Site Area

R3 Zone: Minimum 2 hectares

R2K Zone: Minimum 1.0 hectares when not connected to community services

Subject Lot: 0.727 hectares

**Dependent on the requirements of the new zone the applicant is aware that a variance may be required.*

Building Height

R3 Zone: Accessory Building maximum 8m in height

R2K Zone: Accessory Building maximum 8m in height

Proposed Carriage House: 8.0m



Gross Floor Area - Accessory

R3 Zone: Maximum Cumulative GFA for Accessory 500 square meters

R2K Zone: Maximum GFA 200 square meters (cumulative for accessory: 400 square meters)

Secondary Suite Max GFA 90m²

Proposed Garage with Mezzanine Living Space: 239m² GFA

Mezzanine Living Area: 90m² GFA

Existing Home (Primary Use): 263m² GFA

BUILDING DESIGN

The property owner is proposing a building design with gambrel trusses and a traditional farm building look with more modern styling elements. The proposed structure will be a good addition to the semi-rural neighborhood and fit in well with the surrounding buildings. WSA Engineering (2012) has been retained to complete the building layout design and any structural requirements that require BC Building Code Letters of Assurance. The preliminary building layout plans are attached for your reference.



Figures 2 – 4: Proposed Carriage House Concept



Figure 5: Colored Rendering – Front View





Figure 6: Colored Rendering – Rear View

CLOSING

We trust that the information provides the info you require to start the rezoning process and creation of the new zone. If you have any questions, or require any further information, please contact our office at 1.888.617.6927.

Sincerely,

WSA ENGINEERING LTD.

A handwritten signature in cursive script that reads "Angela Jack".

Angela Jack

AJ:ds

TASSONE SHOP

1473 MEADOWBROOK DRIVE

CASTLEGAR, BC V1N 3L9

GENERAL NOTES:

- ALL WORK TO CONFORM TO THE BRITISH COLUMBIA BUILDING CODE LATEST EDITION, LOCAL CODES AND BY-LAWS OF AUTHORITIES HAVING JURISDICTION.
- ALL WORK TO BE PERFORMED WITH RESPECT TO GOOD BUILDING PRACTICES.
- CONTRACTOR TO CAREFULLY INSPECT THE SITE OF WORK AND BE FULLY INFORMED OF EXISTING CONDITIONS AND LIMITATIONS
- NO WORK TO COMMENCE WITHOUT PROPER PERMITS AND LICENSES.
- MEASUREMENTS, GRADES AND LEVELS ARE TO BE VERIFIED AT THE SITE BEFORE CONSTRUCTION.
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS, DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ALL ERRORS OR DISCREPANCIES TO THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR TO VERIFY LOCATIONS AND DETAILS OF ALL CONCEALED SERVICES. PROTECT AND RELOCATE WHERE INDICATED ALL SERVICES FROM DAMAGE DURING CONSTRUCTION PERIOD.
- CONTRACTOR TO MAKE GOOD AND REPAIR ALL EXISTING PARTS AND SURFACES DAMAGED BY DEMOLITION OR NEW CONSTRUCTION, REFINISH TO MATCH SURROUNDING AREA BETWEEN CORNERS OR ABUTMENTS COMPLETE.
- DEMOLISH WHERE NOTED, AND REMOVE DEBRIS FROM SITE, MINIMIZE DISRUPTION TO NEIGHBOURS. ALL SALVAGE MATERIAL (TO BE CONFIRMED BY OWNER) REMAIN THE PROPERTY OF THE OWNER UNLESS OTHERWISE NOTED.
- VERIFY LOCATION OF ALL UNDERGROUND LINES WITHIN THE AREA OF CONSTRUCTION PRIOR TO COMMENCING EXCAVATION. NOTIFY OWNER AT TIME OF EXCAVATION.
- DETERMINE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTRE, WINDOW JAMB OR MULLION, OR OTHER SIMILAR FIXED ITEM.
- DO NOT DRILL OR CUT FLOOR JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. DRILL SLABS WHERE APPROVED. CORE DRILL CIRCULAR OPENINGS THROUGH SLABS. LINE DRILL OR SAW CUT RECTANGULAR OPENINGS.
- PROVIDE BLOCKING FOR SOLID BACKING BEHIND ALL WALL AND CEILING MOUNTED DOOR HARDWARE, ACCESSORIES, MILLWORK, PLY EDGES, MISC. METAL ITEMS, GYPSUM BOARD EDGES ETC.
- TAPE, FILL AND SAND ALL NEW G.W.B.
- INSTALL CARBON MONOXIDE DETECTORS TO SATISFY BCBC 2018 (9.32.4.2 CARBON MONOXIDE ALARMS)
- INTERIOR GARAGE WALLS SEPARATING THE GARAGE FROM THE HOUSE SHALL HAVE 6 MIL U.V. POLY VAPOUR BARRIER INSTALLED ON THE HOUSE SIDE OF THE WALL. ALL AREAS AROUND DOORS, SWITCHES & OUTLETS SHALL BE PROPERLY TAPED & SEALED.
- ALL FLASHING TO BE PREFINISHED TO SUIT OWNERS COLOUR SCHEME. FLASHING TO BE INSTALLED AT ALL CHANGES IN HORIZONTAL EXTERIOR FINISHES AND OVER ALL UNPROTECTED EXTERIOR OPENINGS. CAULKING TO BE INSTALLED AROUND ALL UNFLASHED EXTERIOR OPENINGS. FLASHING TO BE INSTALLED AT ALL PENETRATIONS IN THE ROOF SYSTEM AND AT ALL CHANGES IN THE ROOF PLANE.
- VAPOUR BARRIER TO MIN. 6 MIL. SEAL ALL JOINTS AND HOLES TO PREVENT LEAKAGE. PROVIDE ALSO 12" WIDE LAPS BELOW SLAB ON GRADE.
- A FREE VENT AREA OF 1/300 OF THE INSULATED ATTIC AREA SHALL BE PROVIDED AT THE ROOF, APPROXIMATELY HALF FROM THE EAVES AND HALF FROM THE TOP. (WITH NOT LESS THAN 25% OF THE OPENINGS AT THE TOP OF THE SPACE & NOT LESS THAN 25% OF THE OPENINGS AT THE BOTTOM OF THE SPACE. SEE BCBC 2018 9.19 ROOF SPACES)
- PROVIDE GASKET TO UIS OF SILL PLATES. (POLYETHYLENE FILM OR TYPE S ROLL ROOFING)

FIELD REVIEWS:

- WSA ENGINEERING (2012) LTD. (WSA) PROVIDES FIELD REVIEW FOR THE WORK SHOWN ON THE STRUCTURAL DRAWINGS PREPARED BY WSA. THIS REVIEW IS A PERIODIC REVIEW AT THE PROFESSIONAL JUDGEMENT OF WSA. THE PURPOSE IS TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY WSA AND TO FULFILL THE REQUIREMENTS FOR THE COMPLETION OF LETTERS OF ASSURANCE REQUIRED BY THE APPLICABLE BUILDING CODE.
- THE CONTRACTOR IS RESPONSIBLE TO UNDERTAKE THE WORK IN ACCORDANCE WITH THE DESIGN DRAWINGS, THE BCBC AND GOOD CONSTRUCTION PRACTICES. INSPECTIONS BY WSA WHETHER UNDERTAKEN OR NOT FOR ANY ITEM DO NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLETE THE WORK AS DIRECTED BY THE CONTRACT DOCUMENTS OR DRAWINGS, BEST PRACTICES AND THE BCBC. THE CONTRACTOR WILL SAVE HARMLESS AND INDEMNIFY WSA, ITS OWNERS OR EMPLOYEES FROM ANY DAMAGES RESULTING FROM POOR WORKMANSHIP, ERRORS OR OMISSIONS BY THE CONTRACTOR.
- ALL NON-CONFORMING WORKS THAT REQUIRE REMEDIAL ACTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY EXTRA TIME OR COST INCURRED TO WSA, TO ASSIST OR ADVISE THE CONTRACTOR IN RECTIFYING THE WORK SHALL BE BORNE BY THE CONTRACTOR.
- ENSURE THAT WORK TO BE INSPECTED IS COMPLETE AT THE TIME OF INSPECTION AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ADDITIONAL INSPECTIONS REQUIRED DUE TO INCOMPLETE WORK OR POORLY EXECUTED WORK, AS JUDGED BY WSA AS WELL AS ADDITIONAL DESIGN OR REMEDIAL WORK CAUSED BY DEVIATIONS FROM THESE DRAWINGS, MAY BE CHARGED TO THE GENERAL CONTRACTOR AT THE DISCRETION OF WSA.
- A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN BY THE CONTRACTOR FOR ANY INSPECTION TO BE CARRIED OUT BY WSA. INSPECTIONS ARE REQUIRED PRIOR TO CONCEALING ANY STRUCTURAL WORK SHOWN ON THESE DRAWINGS.
- MINIMUM REQUIRED FIELD REVIEWS FOR THIS PROJECT:**
 - FOOTINGS:**
INSPECT WHEN REBAR AND FORMS ARE INSTALLED
 - FOUNDATION WALLS:**
INSPECT WHEN REBAR IS INSTALLED AND STILL VISIBLE PRIOR TO BEING FULLY COVERED BY FORMS
 - FRAMING:**
INSPECT ALL STRUCTURAL ELEMENTS DETAILED IN THESE DRAWINGS PRIOR TO BEING COVERED WITH INSULATION, SIDING, OR OTHER ELEMENTS

CONCRETE:

- PROVIDE CONCRETE AND PERFORM WORK TO CSA-A23.3.
 - MINIMUM 28 DAY COMPRESSIVE STRENGTHS AS INDICATED BELOW. ALL CONCRETE NORMAL WEIGHT - 150 PCF, TYPE 10 CEMENT, TYPE F FLYASH, MAXIMUM 3/4" AGGREGATE FOR ALL CONCRETE EXCEPT 1 1/4" MAXIMUM AGGREGATE FOR CHUTE PLACED SLABS ON GRADE. SUBMIT PROPOSED MIX DESIGN TO THE ENGINEER FOR APPROVAL.
- | LOCATIONS | STRENGTH MPa (PSI) | AIR % | SLUMP +20mm | EXPOS. CLASS |
|-------------------------|------------------------|------------|-------------|--------------|
| FOOTINGS | 25 (3600) | 1-4 | 70 | - |
| SUSPENDED SLABS & BEAMS | 25 (3600) | 4-7 | 70 | F2 |
| RETAINING WALL | 25 (3600) | 4-7 | 70 | F2 |
| INTERIOR S.O.G. | 25 (3600) | 1-4 | 60 | - |
| EXPOSED S.O.G. | 32 (4640) | 4-8 | 60 | C2 |
| WALLS & COLUMNS | 25 (3600)
30 (4350) | 1-4
4-7 | 70
70 | -
F2 |
- DO NOT USE ADMIXTURES OTHER THAN AIR ENTRAINMENT, STANDARD WATER REDUCERS OR SUPER PLASTICIZERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
 - REJECT ALL CONCRETE WHEN TIME BETWEEN BATCHING AND PLACING EXCEEDS 2 HOURS.
 - DO NOT ADD WATER TO THE CONCRETE ON SITE UNLESS AUTHORIZED BY THE ENGINEER.
 - CONSOLIDATE ALL CONCRETE USING MECHANICAL VIBRATORS.
 - CONTROL JOINTS FOR SLAB-ON-GRADE: SAWCUT TO A DEPTH OF 25% OF SLAB THICKNESS AS SOON AS POSSIBLE AND NO LATER THAN 20 HOURS AFTER POURING AT MAXIMUM 6.1m SPACING OR AT LOCATIONS SHOWN ON THE DRAWINGS.
 - CONSTRUCTION JOINTS: AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
 - PROTECT CONCRETE FROM ADVERSE WEATHER CONDITIONS IN ACCORDANCE WITH CSA A23.1, A23.3
 - CONSTRUCT FORMWORK IN ACCORDANCE WITH WCB REGULATIONS AND CSA S269.3. FORMWORK DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR.

REINFORCING:

- NEW DEFORMED BARS TO CSA G30.18 GRADE 400 (60 KSI), WELDED WIRE FABRIC TO CSA G30.5. ANCHOR BOLTS TO ASTM A307.
- PLACE REINFORCING BARS TO CSA A23.1. TIE ALL BARS SECURELY IN PLACE TO PREVENT DISPLACEMENT. SUPPORT SLAB REINFORCING ON SUITABLE CHAIRS OR SUPPORTS AT MAXIMUM 4 FT. CENTRES. PROVIDE CORNER BARS TO MATCH HORIZONTAL WALL REBAR.
- PROVIDE CLEAR CONCRETE COVER FOR REBAR AS FOLLOWS:
SURFACE POURED AGAINST GROUND 3"
FORMED SURFACE EXPOSED TO GROUND OR WEATHER 2"
BEAMS 2" TO MAIN STEEL
COLUMNS 2" TO MAIN STEEL
WALLS 1 1/2"
SLABS ON GRADE 1 1/2"
- SPLICE REBAR AS FOLLOWS (UNLESS OTHERWISE NOTED):
BAR SIZE: 25M 20M 30M 15M 10M
LAP SPLICE: 51" 31" 71" 25" 18"
- MINIMUM 2-15M REINFORCING AROUND OPENING LARGER THAN 12" AT EACH SIDE OF OPENING. EXTEND 2'-0" PAST CORNER.
- CONTRACTOR TO PROVIDE 48 HOURS NOTICE FOR REBAR INSPECTION.
- WHERE SUSPENDED SLAB DRAWINGS ONLY SHOW PRINCIPAL REINFORCING IN ONE DIRECTION, PROVIDE SHRINKAGE AND TEMPERATURE REINFORCING PERPENDICULAR TO PRINCIPAL REINFORCING AND LOCATE BETWEEN MAIN TOP AND BOTTOM REINFORCING, PER PLANS.
- PROVIDE CORNER BARS FOR ALL HORIZONTAL WALL REINFORCING
- PLACE REINFORCING BARS UNIFORMLY AND SYMMETRICALLY, U.N.O.
- WHERE NEW CONCRETE POUR MEETS ABUTTING CONCRETE, DRILL AND GROUT ALL LONGITUDINAL REINFORCING & I.N.O.. DRILLING AND GROUTING OF REINFORCING SHALL BE WITH "HILTI" HY-150 SYSTEM OR APPROVED EQUAL
- NO WELDING OF ANY CONCRETE REINFORCING STEEL IS PERMITTED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.

WOOD CONSTRUCTION:

- ROUGH CARPENTRY SHALL BE CONSTRUCTED IN ACCORDANCE TO THE HIGHEST INDUSTRY STANDARDS AND TO THE REQUIREMENTS OF PARTS AND PART 4 OF BCBC 2018.
- SILL PLATES TO BE PRESSURE TREATED, LEVELLED AND FASTENED TO FOUNDATION WALL WITH 1/2" Ø ANCHOR BOLTS (UNLESS NOTED OTHERWISE (UNO)) EMBEDDED MIN. 4" @ 6'-0" o.c. MAX. (OR IF SHEAR WALL AS PER DETAIL) WITH MIN. 2 IN EACH SILL.
- ALL TRUSSES TO ENGINEERED AND INSTALLED TO MANUFACTURERS SPECS. PROVIDE ALL GIRDERS, HANGERS, SUPPORTS, HARDWARE, BRACING, ETC. AS REQUIRED. MANUFACTURER TO BRING TO THE ATTENTION OF OWNER/CONTRACTOR ANY FURTHER BEARING REQUIRED FOR TRUSSES PROVIDED.
- TRUSSJOIST MANUFACTURER TO PROVIDE ALL PERTINENT DRAWINGS AND DESIGN INFORMATION INCLUDING MEMBER REACTIONS TO STRUCTURAL ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
- ALL BEARING COLUMNS OF GIRDER TRUSSES TO AND SUPPORT BEAMS ARE TO BE POSTED TO FOUNDATION.
- ALL LINTELS TO EXTERIOR OR BEARING WALLS TO BE (2) - 2x10 UNO.
- BUILT-UP SAWN LUMBER BEAMS AND POSTS SHALL BE CONNECTED WITH 3.5" COMMON NAILS IN TWO ROWS AT 10" O/C IN EACH FACE.
- HEADER JOISTS EMBEDDED IN CONCRETE TO BE TREATED.
- FRAMING HANGERS, ANCHORS, AND CLIPS SHALL BE PRE-ENGINEERED GALVANIZED METAL FABRICATION TO SUIT THE LOADING AND SPAN OF THE FRAMING MEMBERS SUPPORTED. ALL SPECIFIED HARDWARE IS AS MANUFACTURED BY SIMPSON STRONGTIE. ALTERNATIVE MUST BE APPROVED BY ENGINEER.
- PROVIDE JOIST HANGERS AT FLUSH FRAMED WOOD MEMBERS.
- DOUBLE OR TRIPLE STUD UNDER LINTELS AND BEAMS, AS REQUIRED OR UNO.
- WHEN BLOCKING OR BRIDGING IS REQUIRED BY BCBC 9.23.9.4 SPACING SHALL BE NO GREATER THAN 6'10" O/C (SEE 9.23.9.4 BCBC 2018).
- PROVIDE SOLID BLOCKING BETWEEN JOISTS OVER BEARING WALLS AND BEAMS. TOE NAIL THE BLOCKING TO THE WALL PLATE WITH 3" COMMON NAILS AT 6" O/C STAGGER SIDE TO SIDE AS MIN OR AS NOTED FOR WALL PLATE NAILING IN THE WALL SCHEDULE. NAIL THE FLOOR OR ROOF SHEATHING TO THE BLOCKING. NAIL WALL PLATES ABOVE TO THE BLOCKING.
- SOLID BLOCKING TO BE INSTALLED FOR ADEQUATE SUPPORT OF TOWEL BARS, CURTAIN AND CLOSET RODS, SHELVES, GRAB BARS AND SIMILAR FIXTURES WHERE REQUIRED.
- MULTI-PLY LVL'S SHALL BE CONNECTED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- GLULAM BEAMS TO BE PRE-DRILLED TO ACCEPT BOLTS, SHEAR PLATES, ETC.
- ALL BOLTS, NUTS, AND WASHERS IN CONTACT WITH GLULAM TO BE HOT DIPPED GALVANIZED. ALL EXPOSED BOLT HEADS TO BE RECESSED INTO GLULAM MEMBERS.
- ORIENTATE FLOOR AND ROOF SHEATHING WITH FACE GRAIN PERPENDICULAR TO JOISTS. STAGGER PANEL JOINTS.
- ROOF AND FLOOR SHEATHING TO BE FASTENED WITH 2.5" COMMON NAILS AT 6" O/C PANEL EDGES AND BLOCKING. 12" O/C SPACING AT INTERMEDIATE SUPPORTS OR UNO.
- FLOOR SHEATHING TO BE GLUED DOWN TO SUPPORT PRIOR TO FASTENING.
- WALL SHEATHING TO BE FASTENED AS PER WALL SCHEDULE. NAILING SPACING TO BE REDUCED BY 1/3 WHERE AUTOMATIC NAILS ARE USED. DO NOT OVERDRIVE NAILS. PROVIDE DOUBLE STUDS AT PANEL JOINTS IN WALLS WHERE NAIL SPACING IS 2" OR LESS.
- STAIR FRAMING IN ACCORDANCE WITH PART 9 BCBC 2018.
- GRADE AND SPECIES OF FRAMING AS FOLLOWS: (UNO ON DRAWING)
- SOLID SAWN BEAMS, POSTS, COLUMNS, HEADERS, LEDGERS, & JOISTS, TO BE No. 1 OR BETTER, DOUGLAS FIR/ LARCH
- STUDS, BUILT-UP BEAMS, BUILT-UP POSTS, JOISTS, BUILT-UP HEADERS, & LEDGERS, TO BE No. 1/2 OR BETTER SPF
- GLULAM BEAMS TO BE DF 24F-EX
- PARALLEL PSL BEAMS TO BE 2-2E GRADE AND COLUMNS TO BE 1.55E GRADE
- MICROLAM LVL BEAMS AND POSTS TO BE 2.0E GRADE
- TIMBERSTRAND LSL BEAMS AND STUDS TO BE 1.55E GRADE
- EXTERIOR WALL SHEATHING TO BE 1/2" O.S.B. OR 1/2" PLYWOOD
- ROOF SHEATHING TO BE MIN. 1/2" DF PLYWOOD UNLESS OTHERWISE NOTED.
- ALL SUBFLOORING TO BE MIN. 3/4" T&G PLYWOOD UNLESS OTHERWISE NOTED.

NON-STRUCTURAL COMPONENTS:

- NON-STRUCTURAL COMPONENTS ARE NOT THE RESPONSIBILITY OF WSA ENGINEERING LTD. BUT ARE DESIGNED, DETAILED, SPECIFIED AND REVIEWED IN THE FIELD BY OTHERS. LETTERS OF CERTIFICATION OF ADEQUACY, INSTALLATION, ETC. OF SUCH COMPONENTS ARE BY OTHERS.
- MANUFACTURERS OF NON-STRUCTURAL COMPONENTS WHICH AFFECT THE STRUCTURAL FRAMING SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND WSA ENGINEERING LTD. FOR REVIEW. THE SHOP DRAWINGS SHALL CLEARLY INDICATE THE LOAD IMPOSED ON THE STRUCTURE. REVIEW WILL BE LIMITED TO THE EFFECT OF THE COMPONENTS ON THE STRUCTURAL FRAMING.
- EXAMPLES OF NON-STRUCTURAL COMPONENTS INCLUDE BUT ARE NOT LIMITED TO:
- ARCHITECTURAL COMPONENTS SUCH AS HANDRAILS, GUARDRAILS, RAILINGS, FLAG POST, REMOVABLE CANOPIES, CEILINGS, VEHICLE PROTECTION SYSTEMS, ORNAMENTAL COMPONENTS
- ARCHITECTURAL PRECAST CONCRETE AND ITS ATTACHMENTS
- ARCHITECTURAL GLASS BLOCKS AND THEIR ATTACHMENTS
- BRICK AND BLOCK VANEERS, REINFORCING, AND TIES
- LANDSCAPING COMPONENTS SUCH AS BENCHES, LIGHT POSTS, PLANTERS
- CURTAIN WALL SYSTEMS, CLADDING, SKYLIGHT, WINDOW MULLIONS
- INTERIOR AND EXTERIOR NON-LOADING STEEL STUD WALLS
- SUPPORT AND BRACINGS OF MECHANICAL AND ELECTRICAL SYSTEMS AND EQUIPMENT FOR NON-GRAVITY AND SEISMIC LOADS
- WINDOW WASHING EQUIPMENT AND ITS ATTACHMENTS
- ELEVATORS, ESCALATORS, AND OTHER CONVEYING SYSTEMS, INCLUDING PROPRIETARY SUPPORT BEAMS AND ATTACHMENTS
- NON-STRUCTURAL MASONRY

DESIGN LOADS (Castlegar) PER BCBC 2018

1. SPECIFIED DEAD LOADS:		
ROOF	15 PSF	(0.72 kPa)
FLOOR	15 PSF	(0.72 kPa)
2. SPECIFIED LIVE LOADS:		
FLOOR	39.9 PSF	(1.91 kPa)
3. CLIMATIC DATA:		
GROUND SNOW (Sg)	87.74 PSF	(4.2 kPa)
ROOF SNOW (S)	50.34 PSF	(2.41 kPa)
RAIN (Sr)	2.09 PSF	(0.1 kPa)
WIND LOADS:		
(1/10)	5.64 PSF	(0.27 kPa)
(1/50)	7.1 PSF	(0.34 kPa)
SEISMIC LOADS:		
Sa(0.2) = 0.129		
Sa(0.5) = 0.1		
Sa(1.0) = 0.074		
PGA = 0.058		

DRAWING INDEX

- A0.0 COVER PAGE
- A0.1 SITE
- A1.0 NOTES AND SCHEDULES
- A2.0 FLOOR PLANS
- A3.0 ELEVATIONS
- A4.0 ELEVATIONS - 2
- A5.0 SECTIONS
- A6.0 PERSPECTIVES

FOR REZONING

WSA ENGINEERING (2012) LIMITED
Civil Structural
2248 Columbia Ave. Castlegar, B.C. V1N 2X1 Ph: (888) 617-6927

C21001-081
TASSONE SHOP
1473 MEADOWBROOK DRIVE
CASTLEGAR, BC V1N 3L9

RDCK ZONING INFORMATION:
CURRENT ZONING: RURAL RESIDENTIAL R3

- SETBACKS:**
- FRONT: 7.5M
 - REAR: 2.5M
 - INTERIOR: 2.5M
 - EXTERIOR: 2.5M

- COVERAGE:**
- MAX SITE COVERAGE: 50%

- HEIGHT:**
- MAX HEIGHT 10M PRINCIPAL BUILDING
 - MAX HEIGHT 8M ACCESSORY BUILDING

- ACCESSORY BUILDING:**
- MAXIMUM FOOTPRINT ACCESSORY BUILDING: 250 SQ M
 - CUMULATIVE GROSS FLOOR AREA OF ALL ACCESSORY BUILDING: 500 SQ M

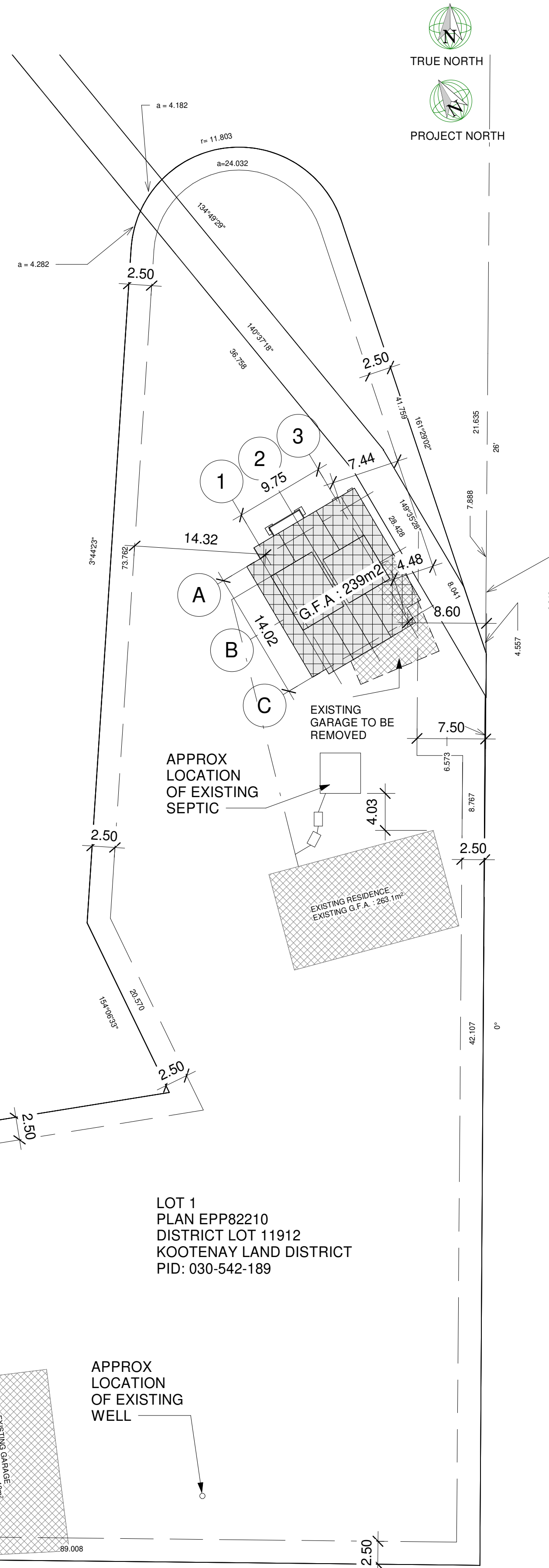
BUILDING PLAN INFORMATION:

- SETBACKS:**
- FRONT: 8.29M
 - REAR: 14.32M
 - INTERIOR: 7.44M

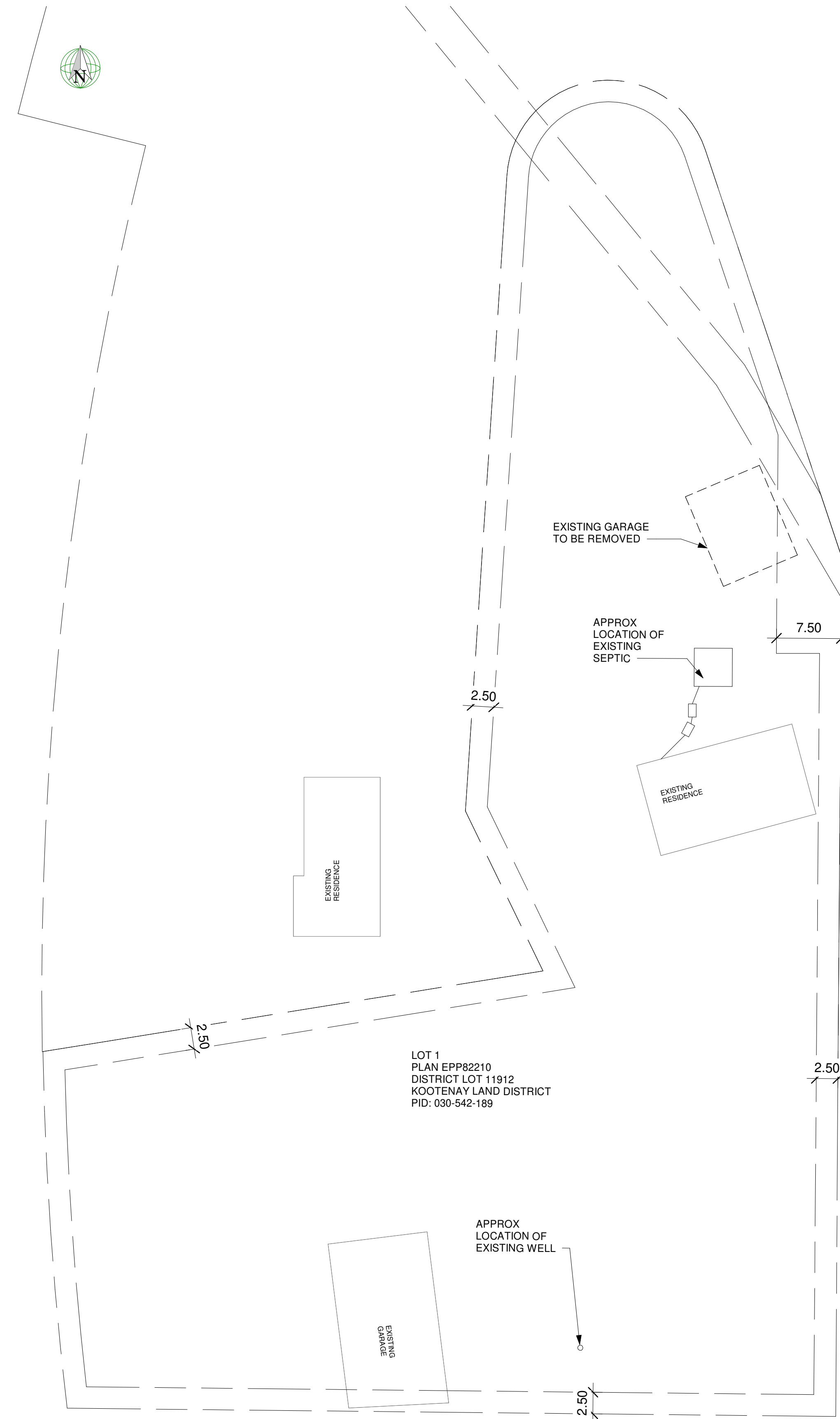
- COVERAGE:**
- ESTIMATED SITE COVERAGE: (MAX 50%)
- NEW BUILDING COVERAGE: 2505 ft² = 225.7m²
 - ESTIMATED EXISTING LOT COVERAGE
 - HOUSE: 1820 ft² = 169 m²
 - GARAGE: 440 ft² = 40.9 m²
 - LOT AREA: 1.979 AC = 8009 m²
 - ACTUAL LOT COVERAGE: 442.6/8009 = 5.5%

ACCESSORY BUILDING:

- MAX HEIGHT AS PER FINISHED GRADE: 8.0m
- NEW GROSS FLOOR AREA G.F.A. = 239m²
- EXISTING GROSS FLOOR AREA = 40 m
- CUMULATIVE G.F.A. = 279m²



1 PROPOSED SITE
 A0.1 1" = 30'-0"



2 EXISTING SITE
 A0.1 1" = 30'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

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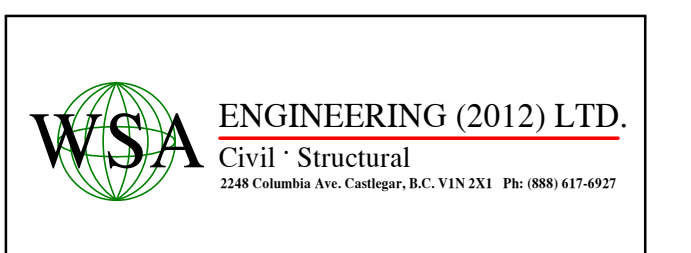
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ISSUED FOR REZONING

No.	Date	Issue/Revision
A	JAN 18/21	ISSUED FOR REZONING

Professional Engineer Stamp:



Project
TASSONE SHOP
 1473 MEADOWBROOK DRIVE
 CASTLEGAR, BC V1N 3L9
 Drawing
SITE

Date	05/08/21	Project No.	C21001-081
Designed	RS	Drawing File	C21001-081 A1
Drawn	RS	Scale	1" = 30'-0"
Checked	AJ	Sheet No.	A0.1
Approved	AJ	Issue/Rev.	A1

GENERAL NOTES:

HEATING

- INSTALLATION OF ENTIRE HEATING SYSTEM TO BE IN COMPLIANCE WITH MANUFACTURERS DIRECTIONS (WHERE APPLICABLE) AND MUST ALSO CONFORM WITH LOCALS CODES AND REGULATIONS IN ALL RESPECTS.
- GAS CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES, UNINCLUDING FURNACES, FIREPLACES AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

FIRE PROTECTION

- WITHIN DWELLING UNITS SUFFICIENT SMOKE ALARMS CONFORMING TO CAN/ULC-531 SHALL BE INSTALLED SO THAT
 - THERE IS AT LEAST ONE SMOKE ALARM ON EACH STOREY, INCLUDING BASEMENTS
 - ON ANY STOREY OF A DWELLING UNIT CONTAINING A SLEEPING ROOM, A SMOKE ALARM IS TO BE INSTALLED,
 - IN EACH SLEEPING ROOM, AND
 - IN A LOCATION BETWEEN SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
- SMOKE ALARMS SHALL HAVE VISUAL SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3 OF NFPA 72. THE VISUAL SIGNALLING COMPONENT NEED NOT BE INTEGRATED WITH SMOKE ALARM PROVIDED IT IS INTERCONNECTED TO IT.
- INTERCONNECTED SMOKE ALARMS TO BE PERMANENTLY CONNECTED AND HAVE A BATTERY BACKUP AS PER BCBC (2018) 9.10.19.4
- GAS, PROPANE AND ELECTRIC COOKTOPS SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURERS INSTRUCTIONS AS WELL AS HAVE CLEARANCES AS IN ACCORDANCE WITH BCBC (2018) 9.10.22.

STAIRS, HANDRAILS AND GAURDS

- ALL INTERIOR AND EXTERIOR STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO BCBC (2012) SECTION 9.8
 - MAXIMUM RISE 200mm
 - MAXIMUM RUN 355mm
- RAMPS TO BE BUILT IN ACCORDANCE WITH 9.8.4
 - MAXIMUM SLOPE OF 1 IN 10 FOR RAMPS (INTERIOR AND EXTERIOR)
- ALL HANDRAIL TO BE BUILT IN ACCORDANCE WITH BCBC (2018) 9.8.7
 - HEIGHT TO BE NO LESS THAN 865mm AND NO MORE AND 965mm OR AS PER BCBC (2018)

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:

ROOF (ATTIC)	R-48	(R.S.1 - 8.45)
ROOF/CEILING (SLOPING)	R-28	(R.S.1 - 4.93)
WALLS	R-24	(R.S.1 - 3.87)
- ISULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER

R-60	(R.S.1 - 10.56)
R-24	(R.S.1 - 4.23)
- 6 MIL UNLTRAUVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF THE INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSEABLE VENTS
- HOT WATER PIPING AND INSULATION TO BE DESIGNED AND INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH BCBC (2018) 2.3.1.

ELECTRICAL

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIERS REGULATIONS IN ALL RESPECTS
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNERS REQUIREMENTS.

FINISHING

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE/INSULATED AND WEATHER STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING. FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CAULK AROUND ALL EXTERIOR OPENING. FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW AND DOOR SIZES ARE SHOWN IN FEET AND INCHES.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS NOTED OR SHOWN OTHERWISE. ARCHES ARE FRAMED 7'-0" HIGH UNLESS NOTED OR SHOWN OTHERWISE.
- CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE UP TO 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONLY ONE SHELF.
- BATHROOMS TO HAVE AT LEAST ONE WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.
- WATERPOOF FINISH TO BE PROVIDED IN BATHROOMS TO A HEIGHT OF NO LESS THAN,
 - 1.8m (5'11") ABOVE THE FLOOR IN SHOWER STALLS,
 - 1.2m (3'11") ABOVE THE RIMS OF BATHTUBS EQUIPPED WITH SHOWERS,
 - 0.4m (15-3/4") ABOVE THE RIM OF BATHTUBS NOT EQUIPPED WITH SHOWERS.
- CERAMIC AND PLASTIC TILE INSTALLED ON WALLS AROUND BATHTUBS OR SHOWERS SHALL BE APPLIED OVER MOISTURE RESISTANT BACKING
- FINISHED FLOORING IN BATHROOMS, KITCHENS, PUBLIC ENTRANCE HALLS, LAUNDRY, AND GENERAL STORAGE AREAS SHALL CONSIST OF RESILIENT FLOORING, FELTED SYTHETIC-FIBRE FLOOR COVERINGS, CONCRETE, TERRAZZO, CERAMIC TILE, MASTIC OR OTHER TYPES OF FLOOR PROVIDING SIMILAR DEGREE OF WATER RESISTANCE.

WINDOW SCHEDULE						
Mark	QTY.	Operation	Width	Height	Sill Height	Head Ht.
W18	1	CASEMENT SINGLE	2'-0"	3'-0"	12'-2 3/4"	15'-2 3/4"
W01	1	CASEMENT w/ SIDLIGHT	4'-0"	4'-0"	5'-0"	9'-0"
W01	1	CASEMENT w/ SIDLIGHT	4'-0"	4'-0"	5'-0"	9'-0"
W01	1	CASEMENT w/ SIDLIGHT	4'-0"	4'-0"	3'-0"	7'-0"
W16	1	AWNING	5'-0"	1'-6"	7'-0"	8'-6"
W16	1	AWNING	5'-0"	1'-6"	7'-0"	8'-6"
MAIN FLOOR AND FRAMING ABOVE: 6						
W28	1	FIXED ANGLED w/ AWNING PANEL	2'-6"	5'-0"	3'-0"	8'-0"
W05	1	FIXED ANGLED	5'-0"	5'-0"	3'-0"	8'-0"
W09	1	TRIPLE AWNING w/ TRANSOM	7'-0"	4'-0"	3'-0"	7'-0"
W09	1	TRIPLE AWNING w/ TRANSOM	7'-0"	4'-0"	3'-0"	7'-0"
T.O. LOFT: 4						
Grand total: 10						

DOOR SCHEDULE							
Mark	Type	Comments	Count	Width	Height	From Room: Name	To Room: Name
D01	MECH ROOM DOOR		1	3'-0"	6'-8"	MECH	GARAGE
D02	HALF GLASS EXT. DOOR		1	3'-0"	6'-8"		GARAGE
D02	HALF GLASS EXT. DOOR		1	3'-0"	6'-8"		GARAGE
D03	INTERIOR PANEL		1	2'-6"	6'-8"	MECH	GARAGE
D03	INTERIOR PANEL		1	2'-6"	6'-8"	PWDR	GARAGE
D04	OVERHEAD DOOR		1	12'-0"	13'-0"		GARAGE
D04	OVERHEAD DOOR		1	12'-0"	8'-0"		GARAGE
MAIN FLOOR AND FRAMING ABOVE: 7							
D02	HALF GLASS EXT. DOOR		1	3'-0"	6'-8"		ENTRY
D03	INTERIOR PANEL		1	2'-6"	6'-8"	ENTRY	PWDR
D03	INTERIOR PANEL		1	2'-6"	6'-8"	MSTR	ENS.
D05	INTERIOR PANEL		1	2'-8"	6'-8"	LIVING	MSTR
D06	2 PANEL - BIFOLD		1	2'-6"	7'-0"	CLST2	MSTR
D07	4 PANEL - BIFOLD		1	4'-0"	7'-0"	CLST1	MSTR
D08	FRAMED OPENING		1	4'-0"	6'-8"	ENTRY	LIVING
D09	FULL GLASS EXT. DOOR		1	3'-0"	6'-8"		KIT.
D10	4 PANEL - BIFOLD		1	3'-8"	6'-8"		ENTRY
T.O. LOFT: 9							
Grand total: 16							

WALL SCHEDULE		
Mark	Type	Wall Make Up
W1	2x6 Exterior Wall	- Exterior Siding as Per Client - Strapping if Req - Air and Weather Barrier - Seal and Tape all joints - 1/2" Sheathing U.N.O. - 2x6 @ 16" O.C. (TYP.) - R24 Batt Insulation - Poly Vapour Barrier - 1/2" GWB or Good One Side Plywood
W2	2x6 Interior Wall	- 1/2" Gypsum wall Board U.N.O. - 2x6 @ 24" O.C. (PLUMBING) 2x6 @ 16" o/c. (BEARING) - 1/2" Gypsum Wall Board U.N.O.
W3	2x4 Interior Wall	- 1/2" Gypsum Wall Board (U.N.O.) - 2x4 @ 24" O.C. - 1/2" Gypsum Wall Board (U.N.O.)

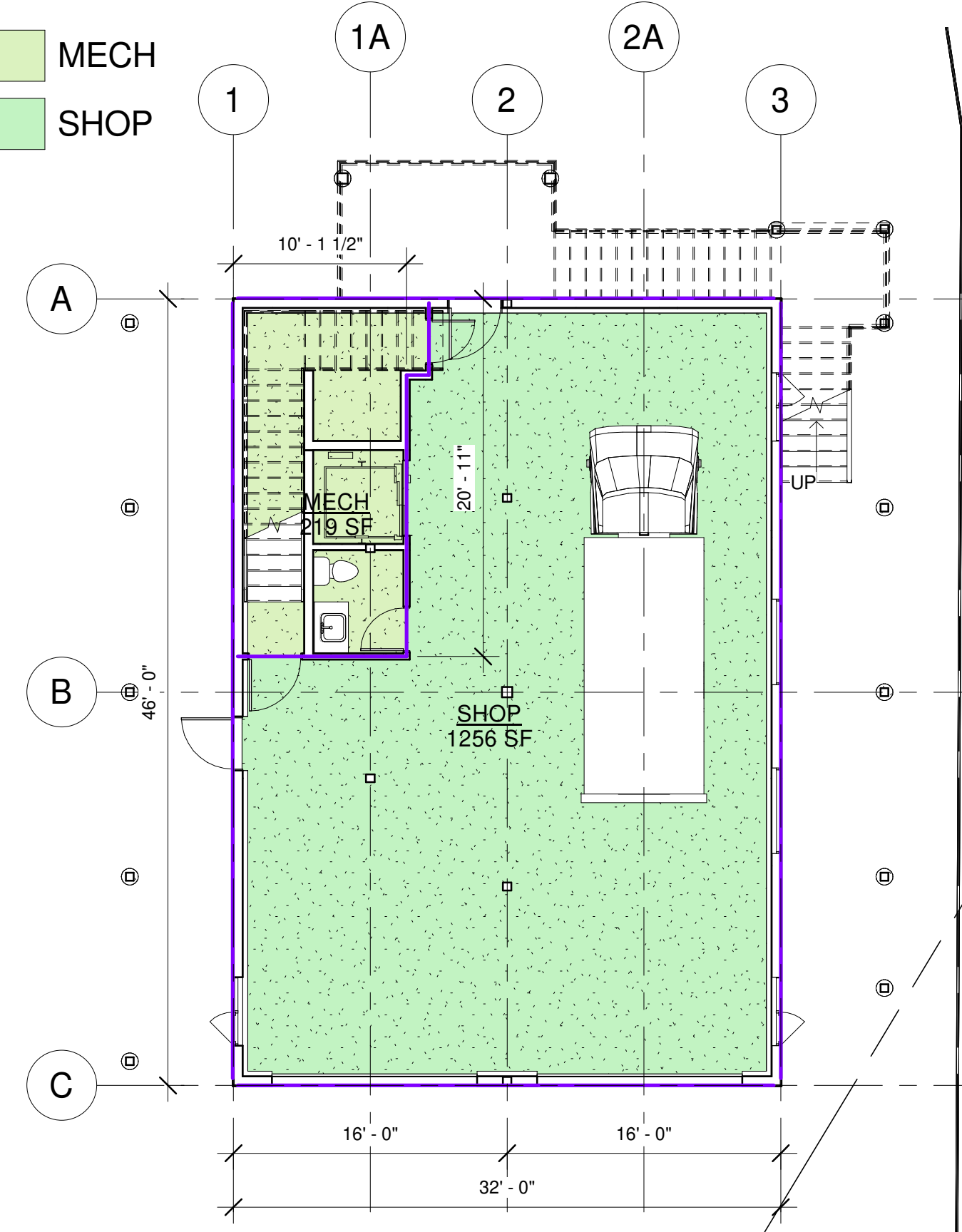
SYMBOL LEDGEN	
	BUILDING SECTION
	DETAIL
	GRID HEAD
	ROOM TAG
	KEYNOTE TAG
	DOOR TAG
	WALL TAG
	WINDOW TAG
	SHEAR WALL @ FLOOR SYSTEM
	SHEAR WALL @ FOUNDATION

RADON GAS CONTROL:
SEE SECT. 9.13.4.3 OF THE BCBC
- MIN 4" CLEAN COARSE GRANULAR FILL UNDER SLAB
- 6 MIL POLY V.B.
- SLAB PERIMETER AND PENETRATIONS SEALED W/ FLEXIBLE SEALANT
- 4" PIPE CAST VERTICALLY INTO SLAB, CENTRALLY LOCATED, CONTINUOUS TO VENT AT ROOF, CLEARLY LABELLED
- ROUGH IN WIRING FOR FUTURE ACTIVE INLINE FAN INSTALLATION

Area Schedule (Gross Building)							
Number	Name	Area	Area (m)	Level	Occupancy	Est Cost Per Area	Est. Cost
1	SHOP	1256 SF	117 m ²	MAIN FLOOR AND FRAMING ABOVE	SHOP	165	207293
2	MECH	219 SF	20 m ²	MAIN FLOOR AND FRAMING ABOVE	MECH	165	36123
3	MEZZANINE	975 SF	91 m ²	T.O. LOFT	LIVING	265	258367
8	DECK	124 SF	12 m ²	T.O. LOFT	DECK	200	24801
Grand total: 4		2574 SF	239 m ²				526585

Building Area Legend

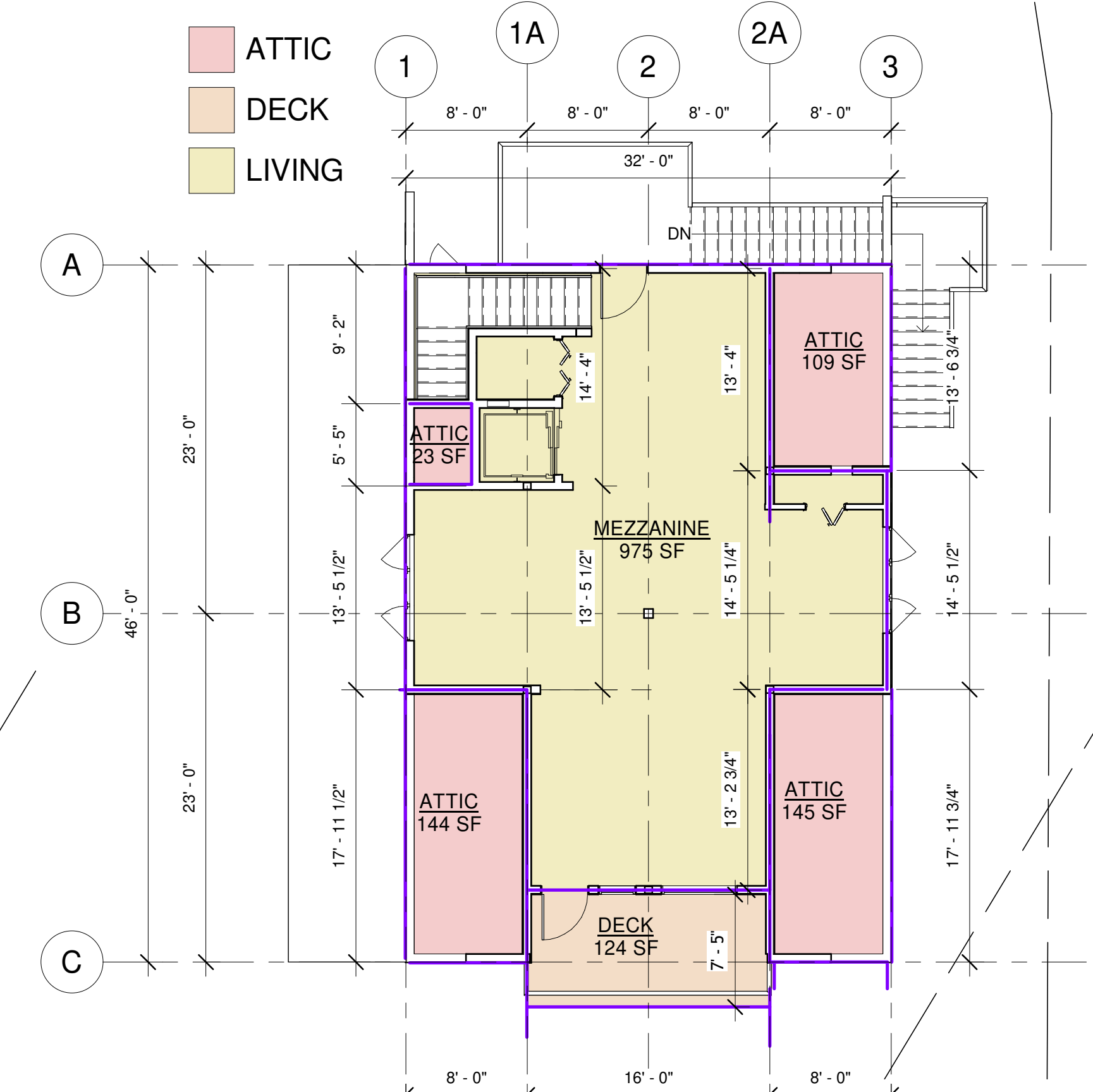
- MECH
- SHOP



2 MAIN FLOOR AND FRAMING ABOVE
A1.0 1/8" = 1'-0"

Building Area Legend

- ATTIC
- DECK
- LIVING



1 T.O. MEZZANINE
A1.0 1/8" = 1'-0"

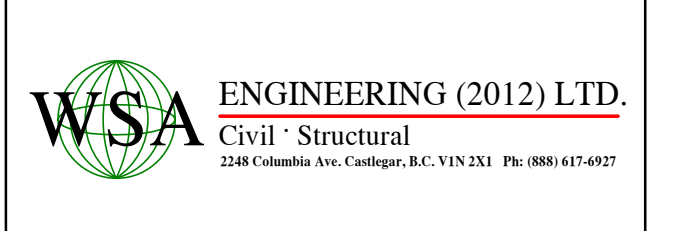
Dimensions to Face of Foundation or Framing Stud UNO.

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No.	Date	Issue/Revision
A	JAN 18/21	ISSUED FOR REZONING

Professional Engineer Stamp:

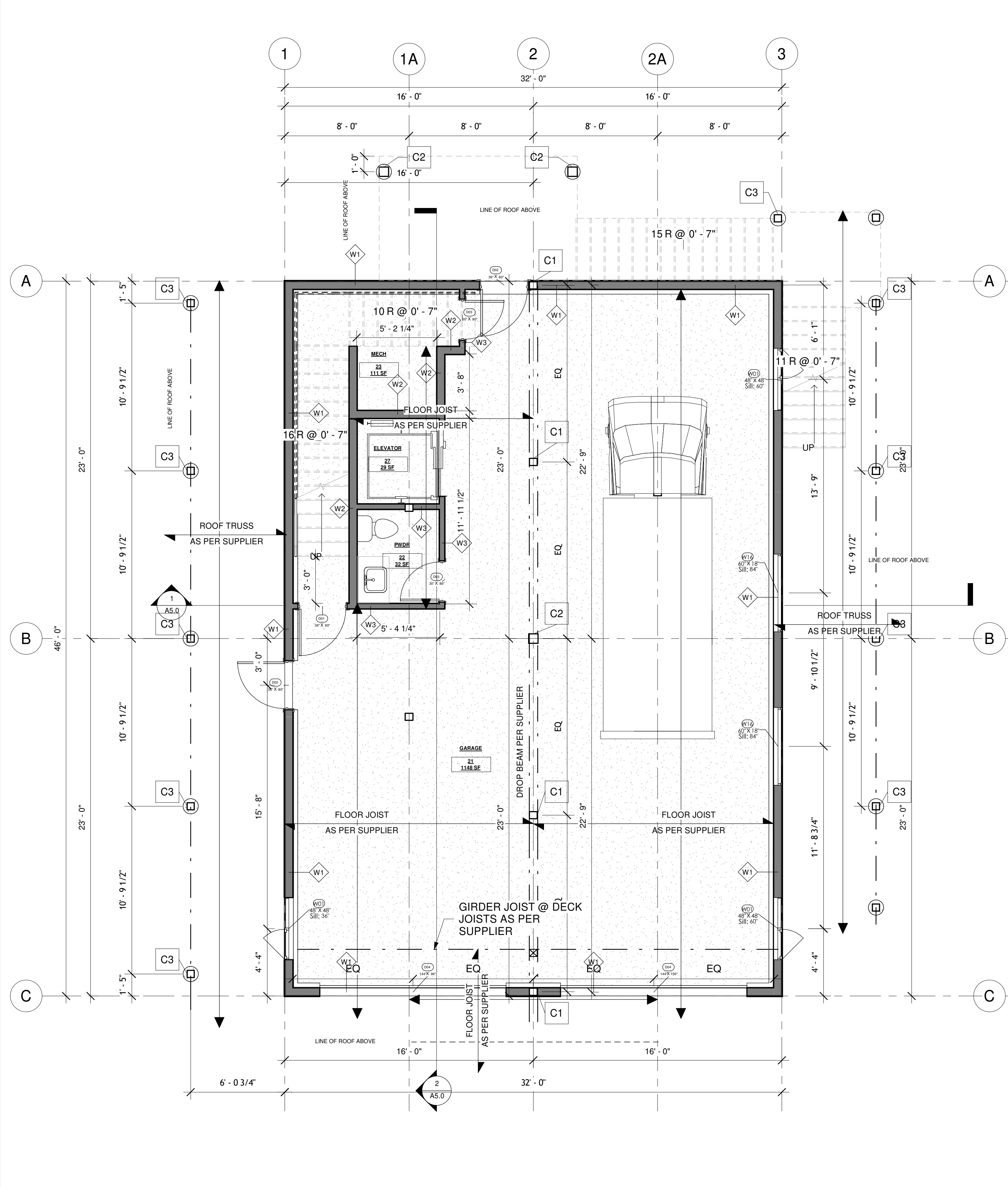


Project
TASSONE SHOP

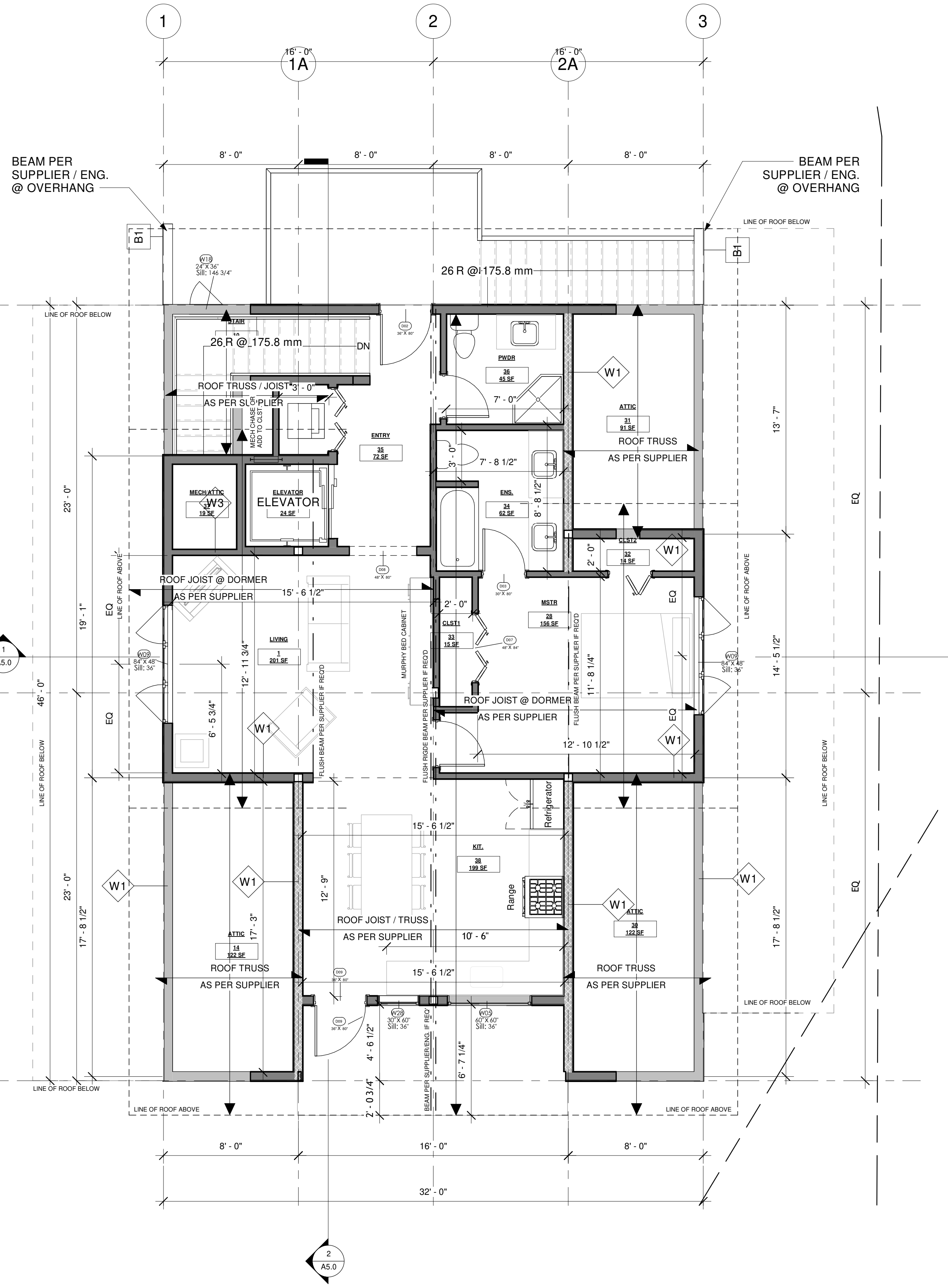
1473 MEADOWBROOK DRIVE
CASTLEGAR, BC V1N 3L9

Drawing
NOTES AND SCHEDULES

Date	Project No.	
05/08/21	C21001-081	
Designed	Drawing File	
RS	C21001-081 A1	
Drawn	Scale	
RS	As indicated	
Checked	Sheet No.	Issue/Rev.
AJ	A1.0	A1
Approved		
AJ		



1 T.O. MAIN FLOOR
A2.0 1/4" = 1'-0"



2 T.O. LOFT
A2.0 1/4" = 1'-0"

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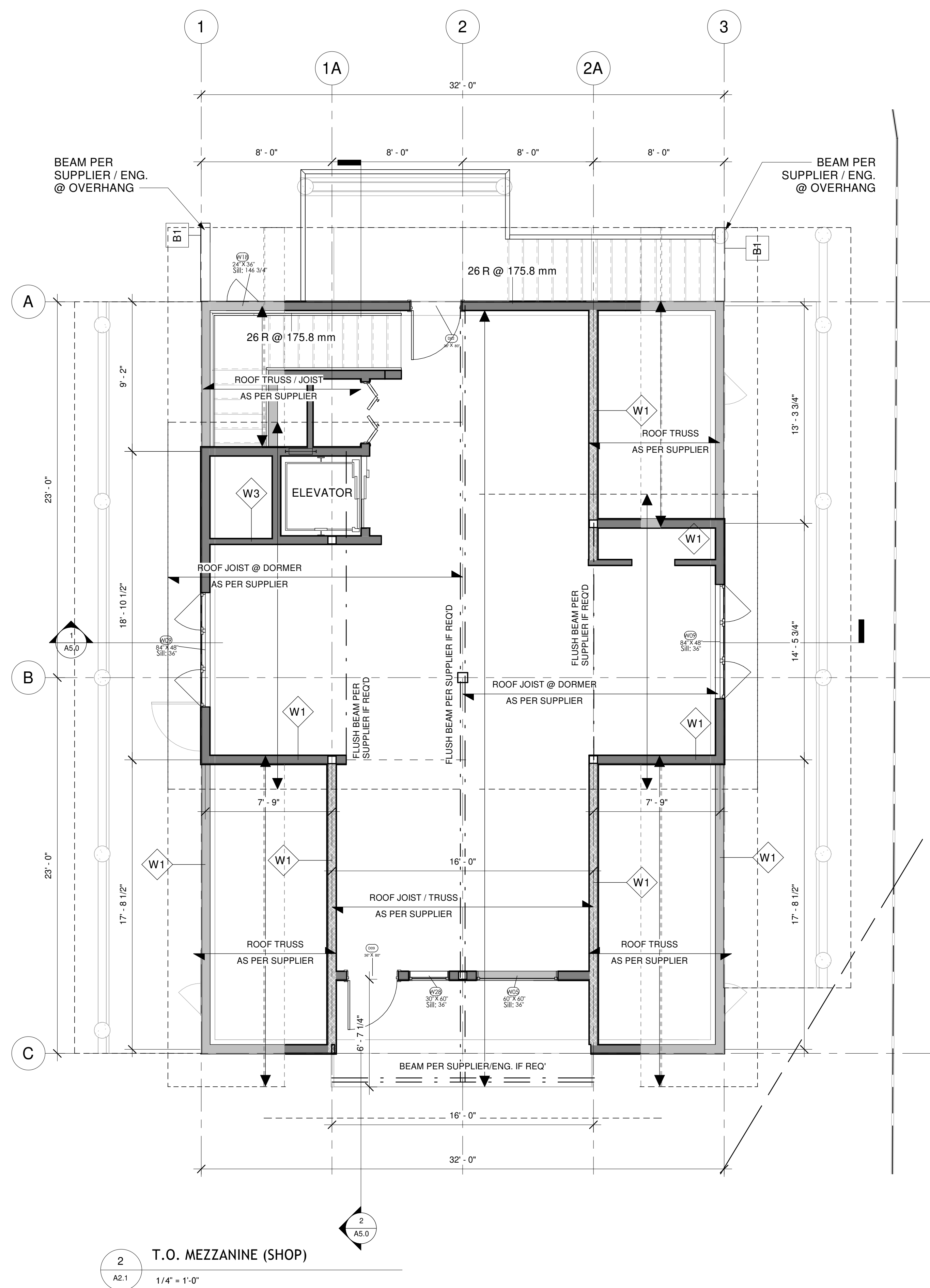
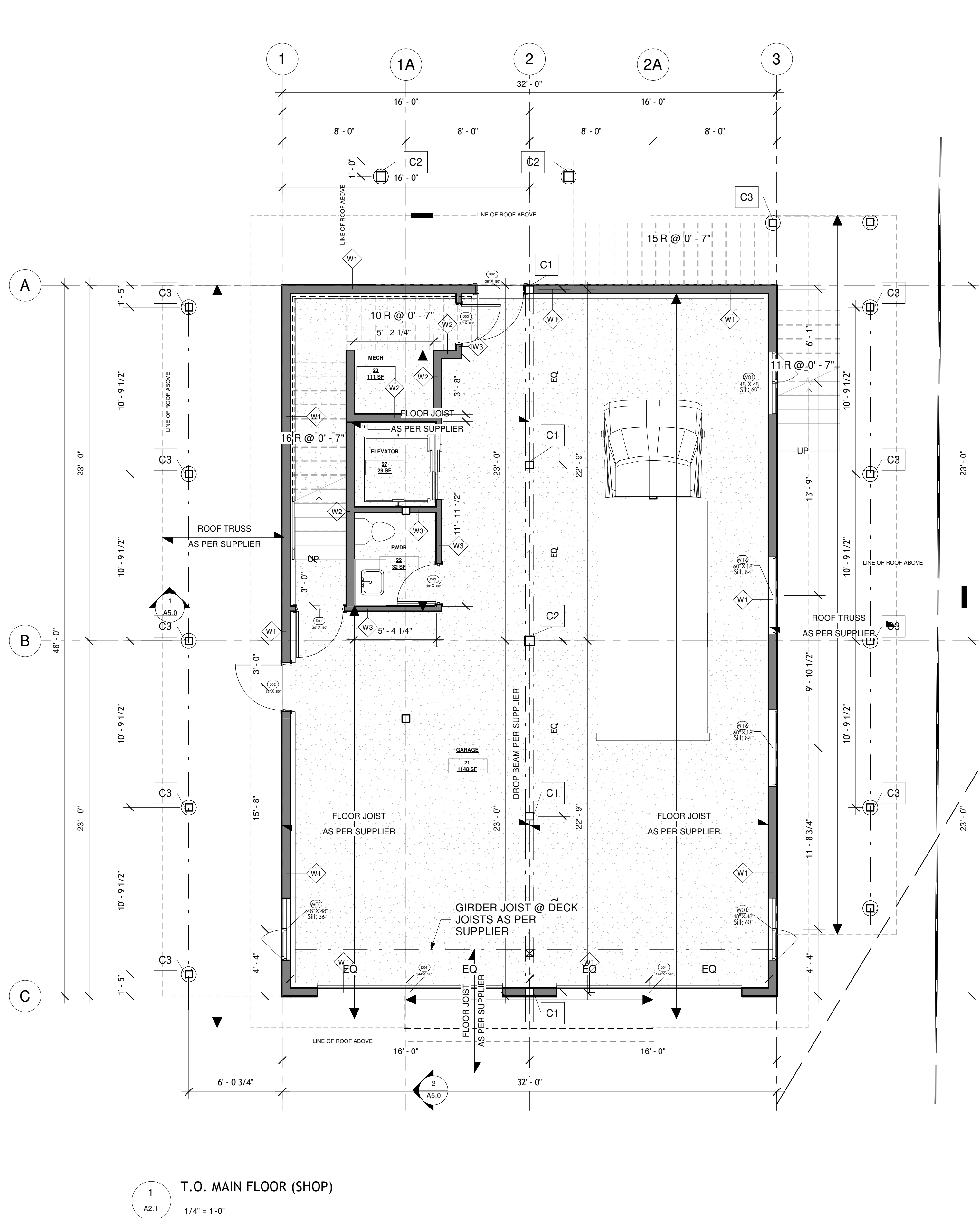


Project
TASSONE SHOP

1473 MEADOWBROOK DRIVE
CASTLEGAR, BC V1N 3L9

Drawing
FLOOR PLANS

Date	Project No.	
05/08/21	C21001-081	
Designed	Drawing File	
RS	C21001-081 A1	
Drawn	Scale	
RS	1/4" = 1'-0"	
Checked	Sheet No.	Issue/Rev.
AJ	A2.0	A1
Approved		
AJ		



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No.	Date	Issue/Revision
B	SEPT 18/21	ISSUED FOR PERMIT
1	AUG 26/21	UPPER FLOOR RE-DONE, ROOF PITCH ADJUSTMENTS, ELEVATOR ADDED
A	AUG 05/21	ISSUED FOR REVIEW

Professional Engineer Stamp:



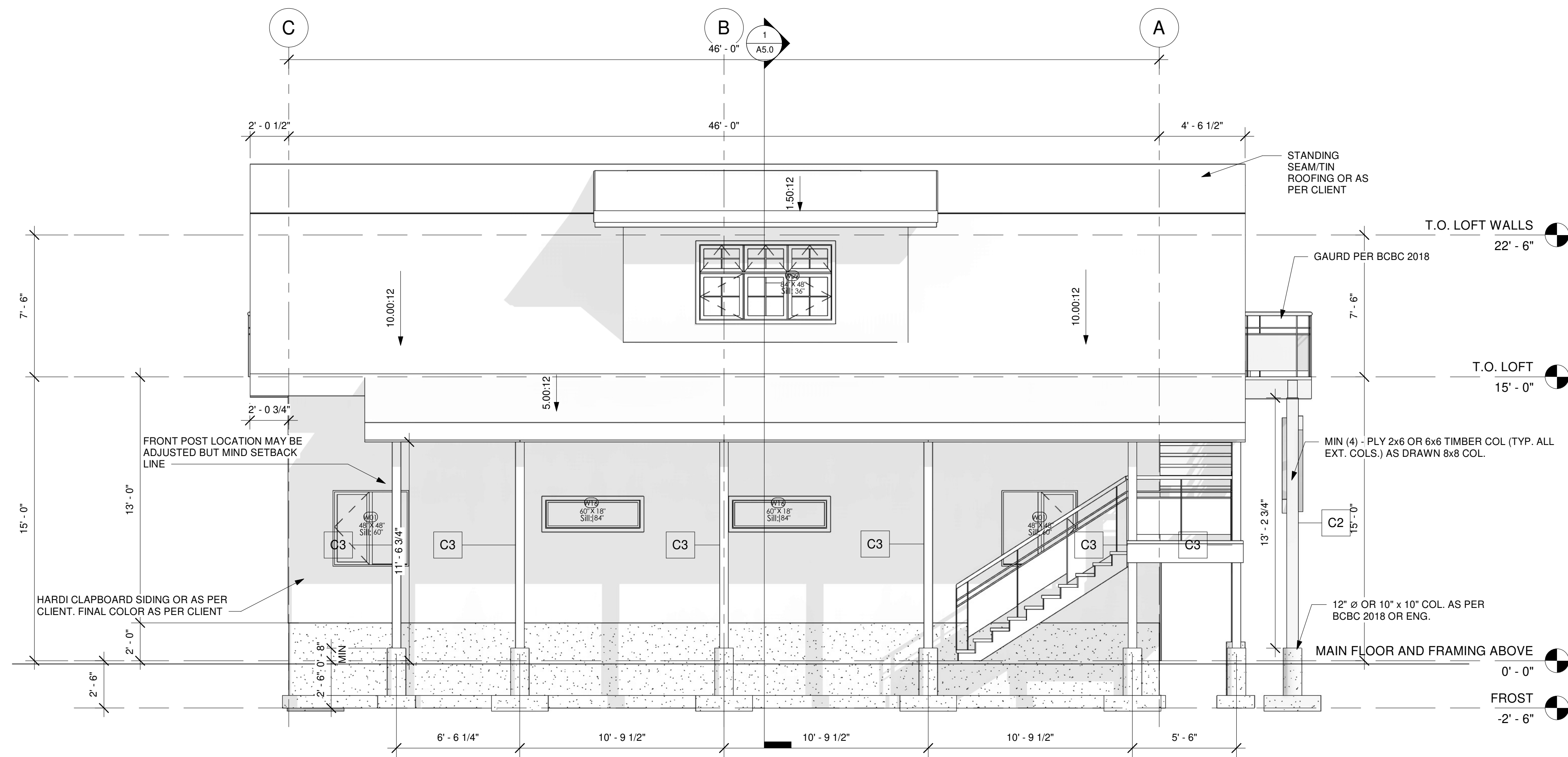
Project
TASSONE SHOP

1473 MEADOWBROOK DRIVE
 CASTLEGAR, BC V1N 3L9

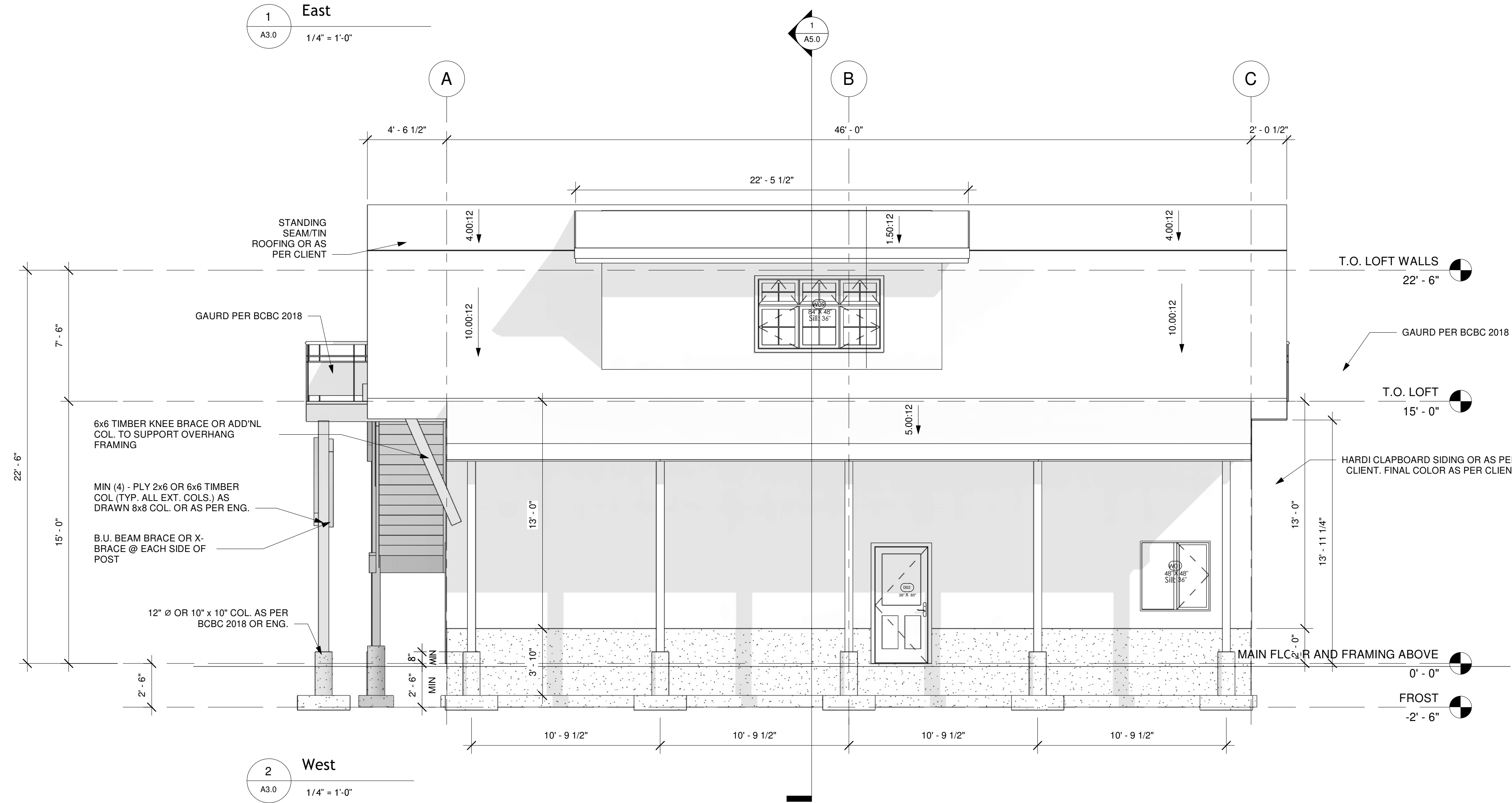
Drawing
SHOP FLOOR PLANS

Date	05/08/21	Project No.	C21001-081
Designed	RS	Drawing File	C21001-081 A1
Drawn	RS	Scale	1/4" = 1'-0"
Checked	AJ	Sheet No.	
Approved	BT	Issue/Rev.	A2.1 A1

FOR PERMIT



1 East
A3.0 1/4" = 1'-0"



2 West
A3.0 1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

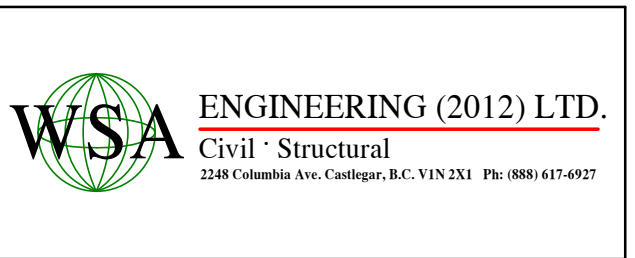
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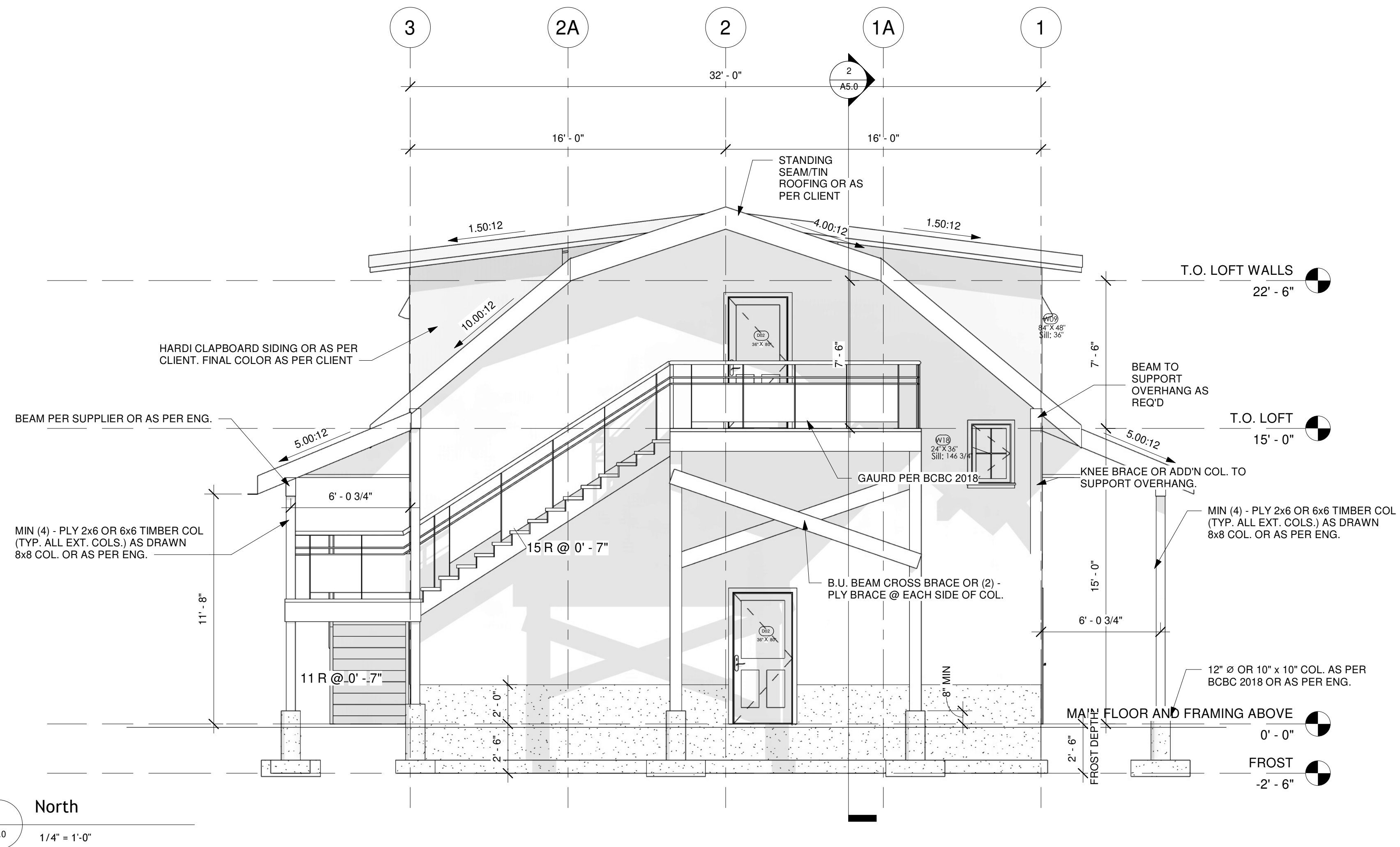


Project
TASSONE SHOP

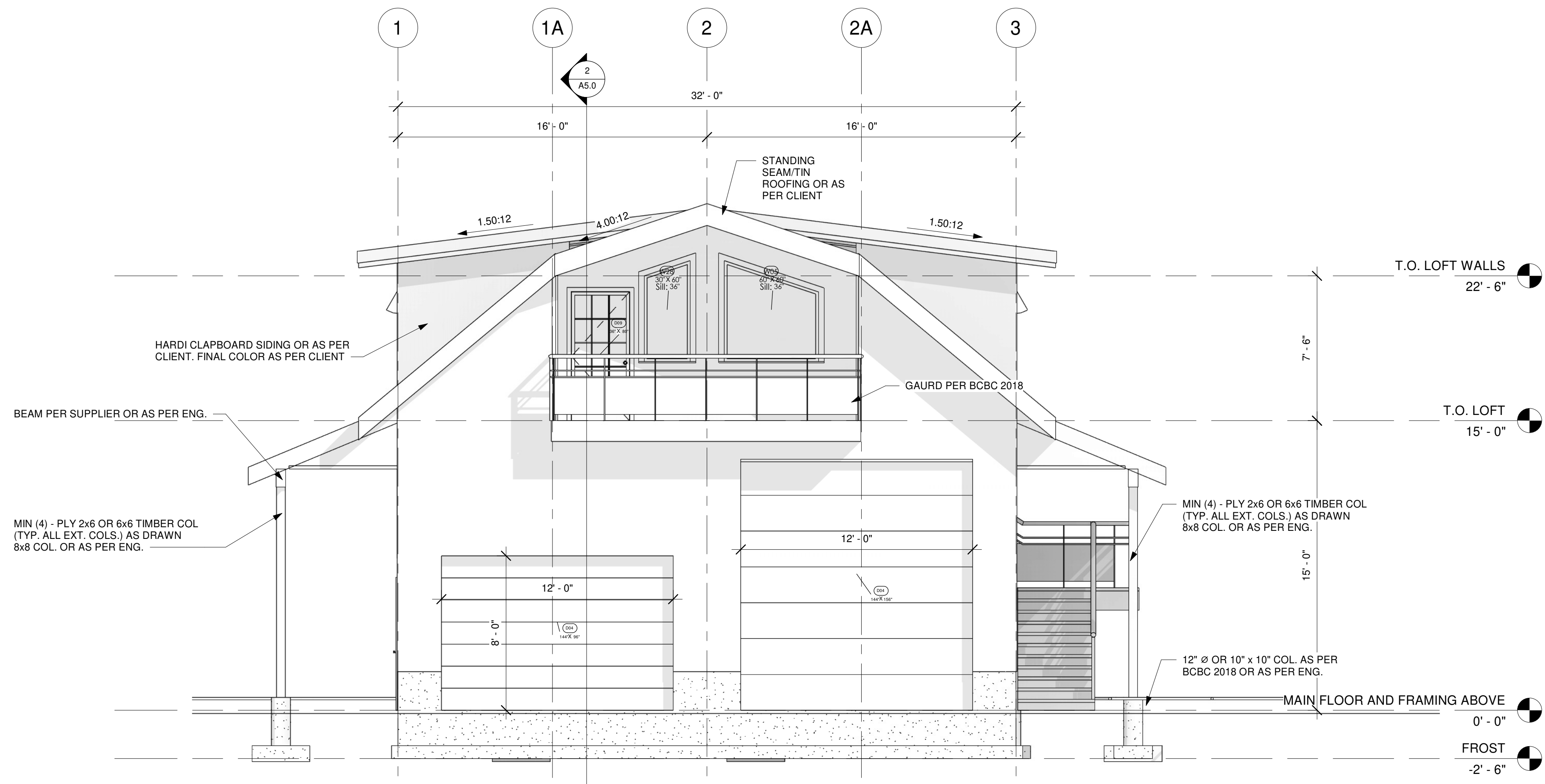
1473 MEADOWBROOK DRIVE
CASTLEGAR, BC V1N 3L9

Drawing
ELEVATIONS

Date	Project No.
05/08/21	C21001-081
Designed RS	Drawing File C21001-081 A1
Drawn RS	Scale 1/4" = 1'-0"
Checked AJ	Sheet No. A3.0
Approved AJ	Issue/Rev. A1



1 North
A4.0 1/4" = 1'-0"



2 South
A4.0 1/4" = 1'-0"

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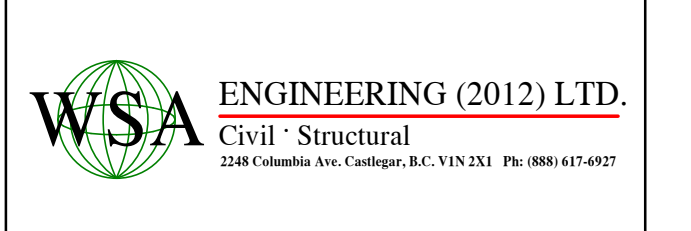
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No.	Date	Issue/Revision

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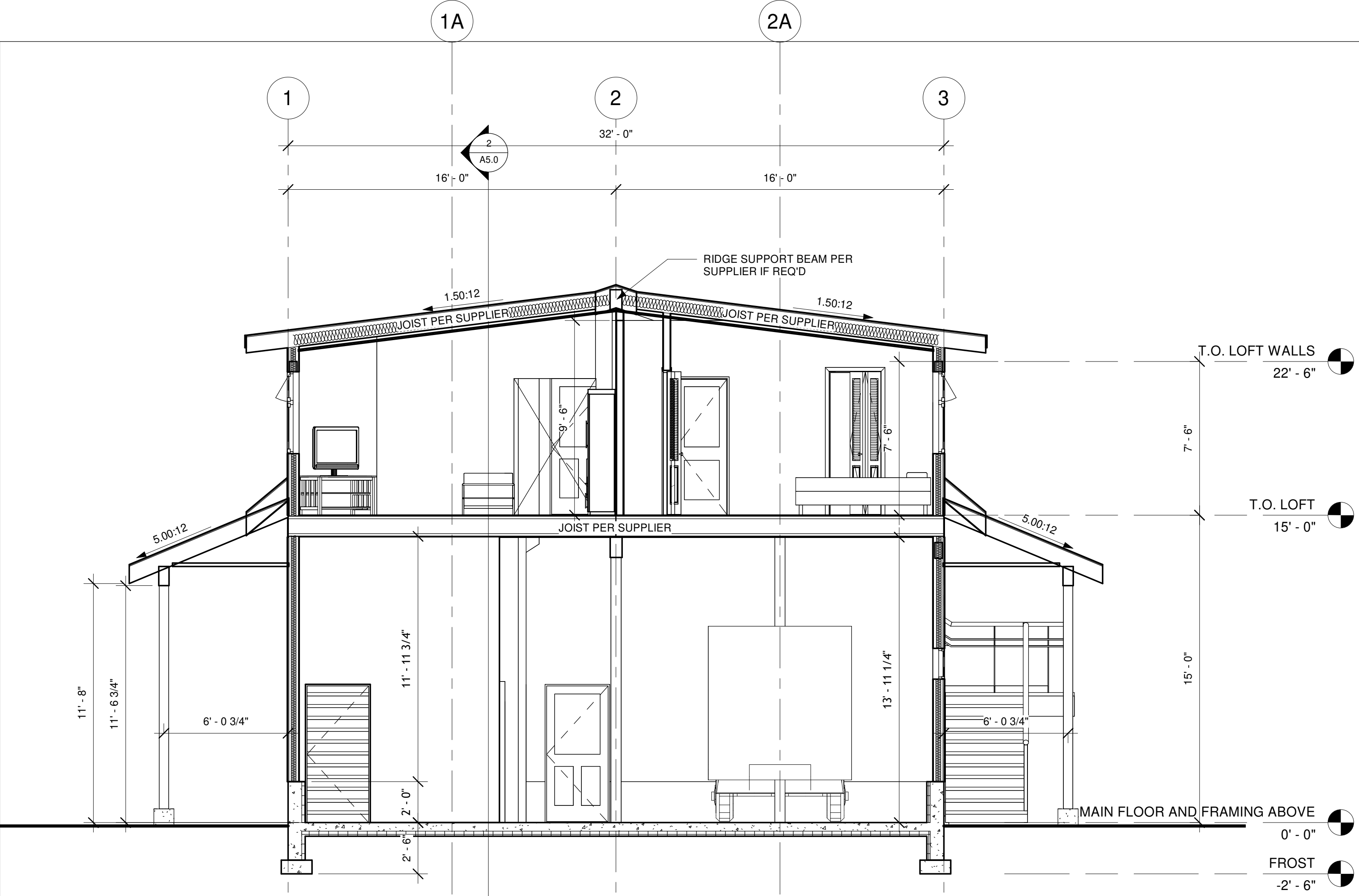


Project
TASSONE SHOP

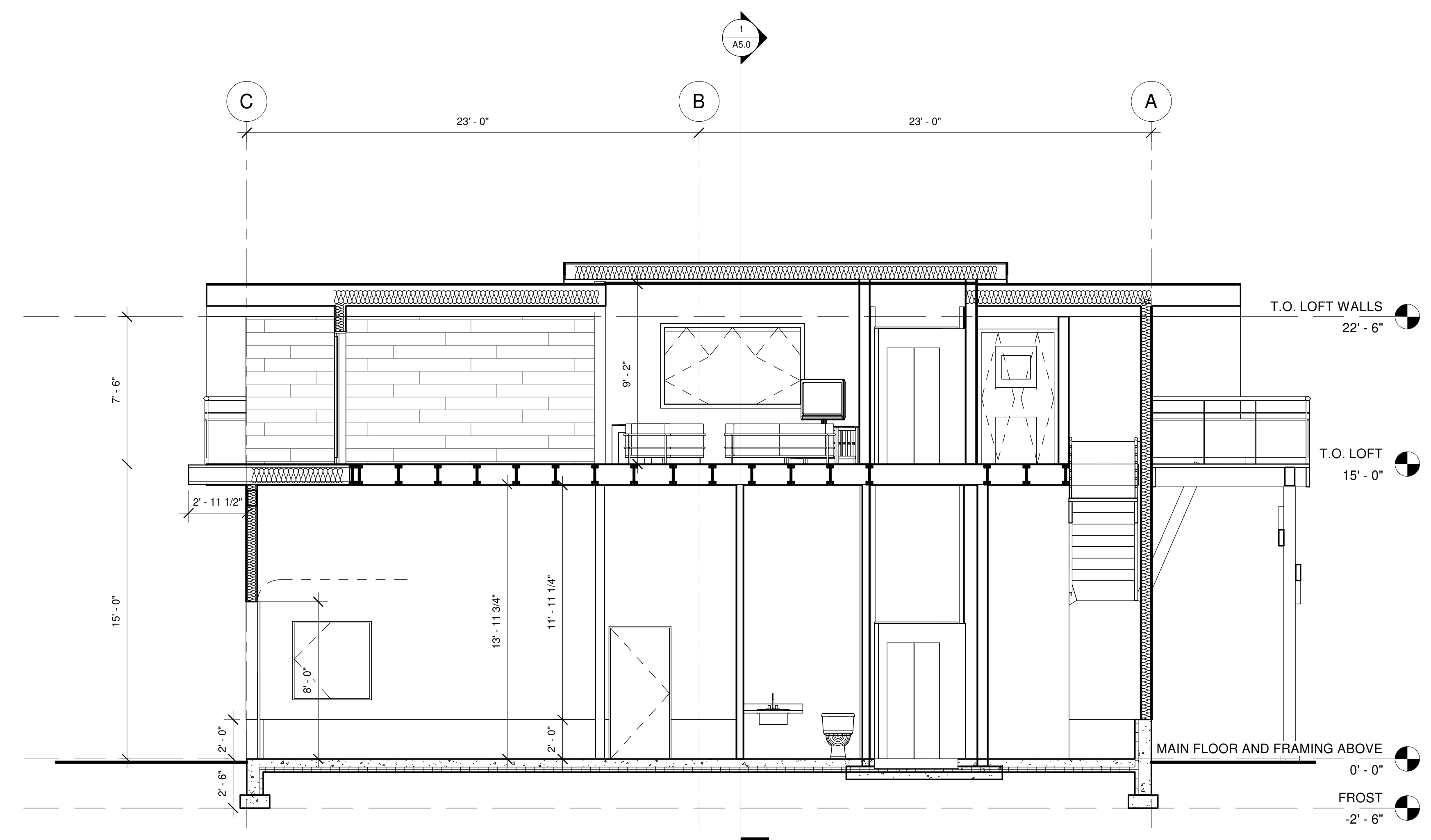
1473 MEADOWBROOK DRIVE
CASTLEGAR, BC V1N 3L9

Drawing
ELEVATIONS - 2

Date	05/08/21	Project No.	C21001-081
Designed	RS	Drawing File	C21001-081 A1
Drawn	RS	Scale	1/4" = 1'-0"
Checked	AJ	Sheet No.	A4.0
Approved	AJ	Issue/Rev.	A1



1 Section 1
A5.0 1/4" = 1'-0"



2 Section 2
A5.0 1/4" = 1'-0"

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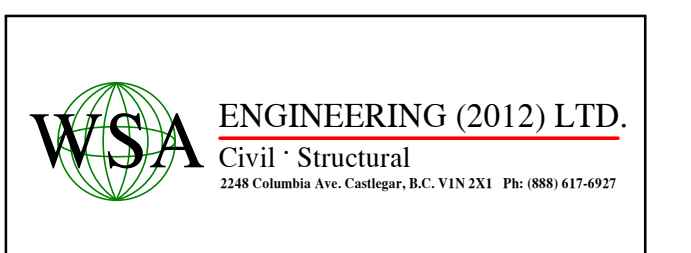
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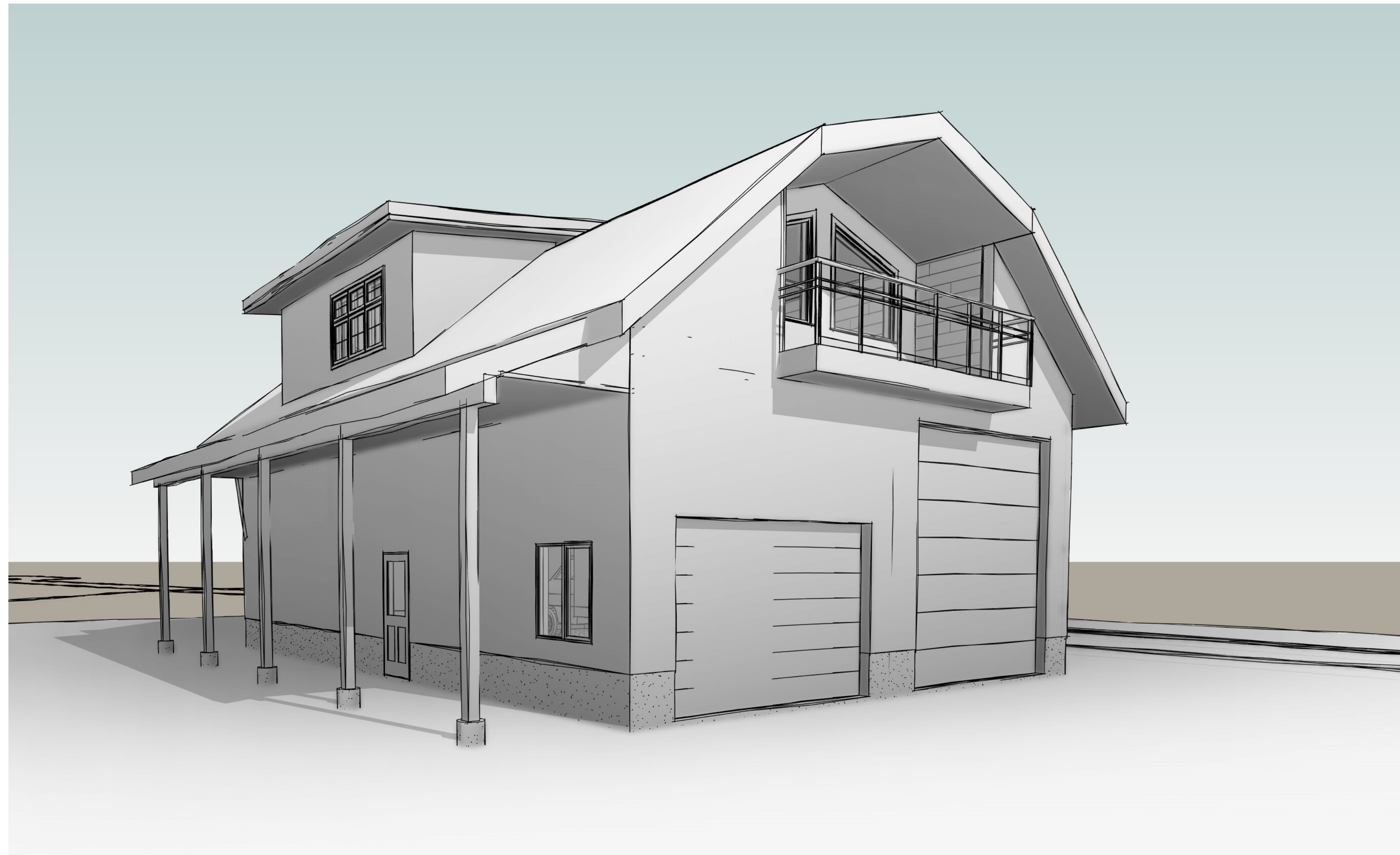


Project
TASSONE SHOP

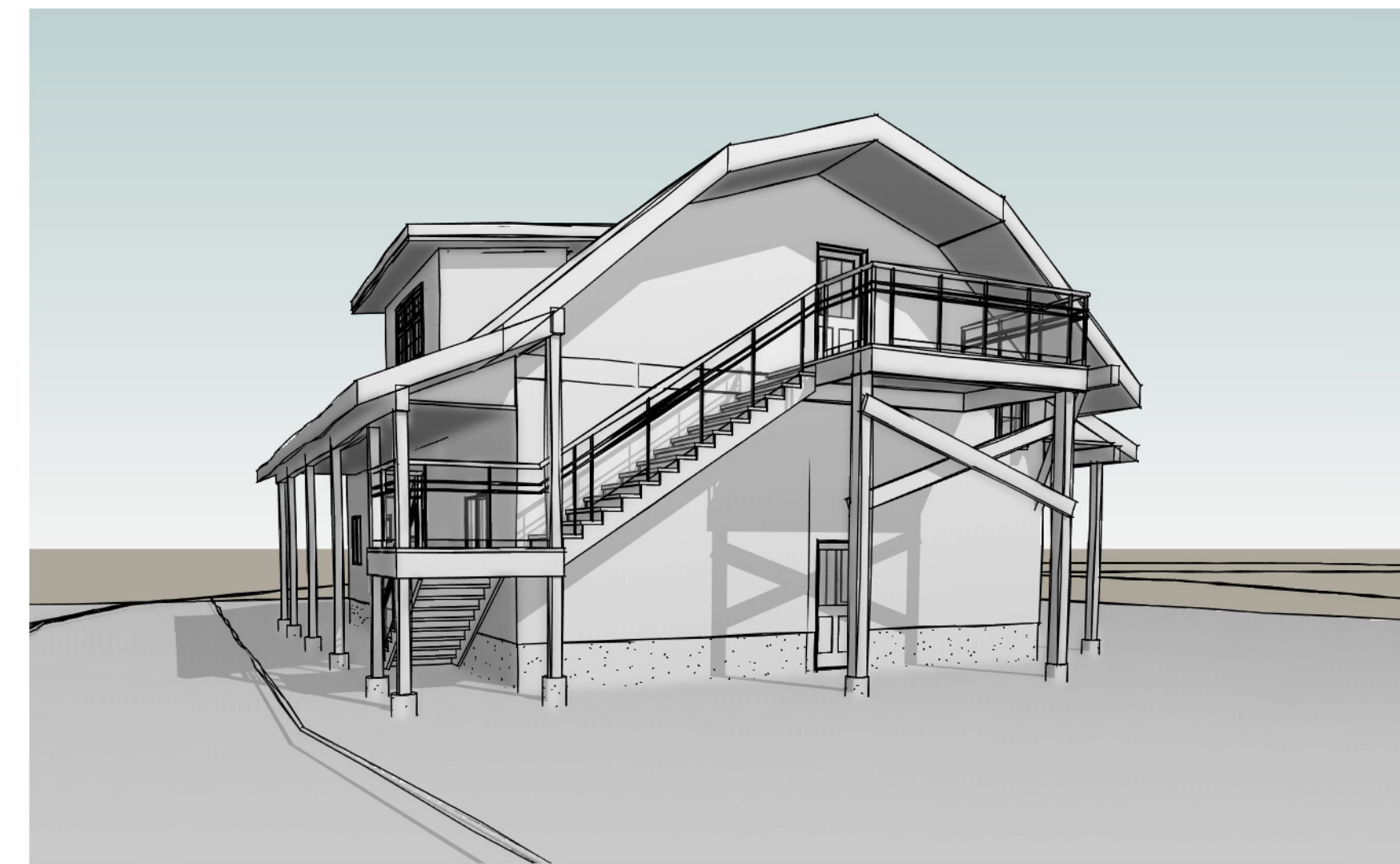
1473 MEADOWBROOK DRIVE
CASTLEGAR, BC V1N 3L9

Drawing
SECTIONS

Date	Project No.	
05/08/21	C21001-081	
Designed	Drawing File	
RS	C21001-081 A1	
Drawn	Scale	
RS	1/4" = 1'-0"	
Checked	Sheet No.	Issue/Rev.
AJ	A5.0	A1
Approved		
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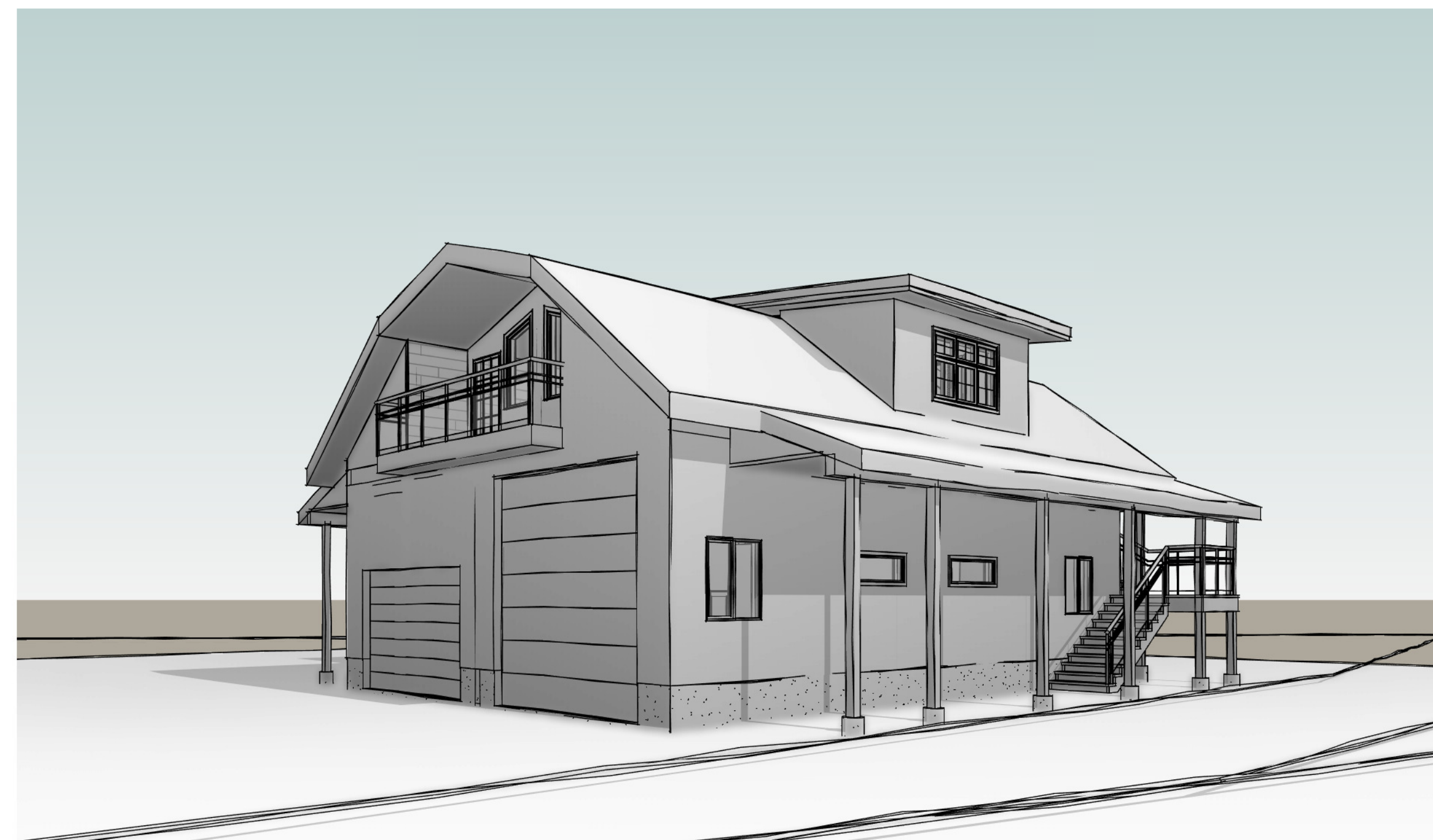
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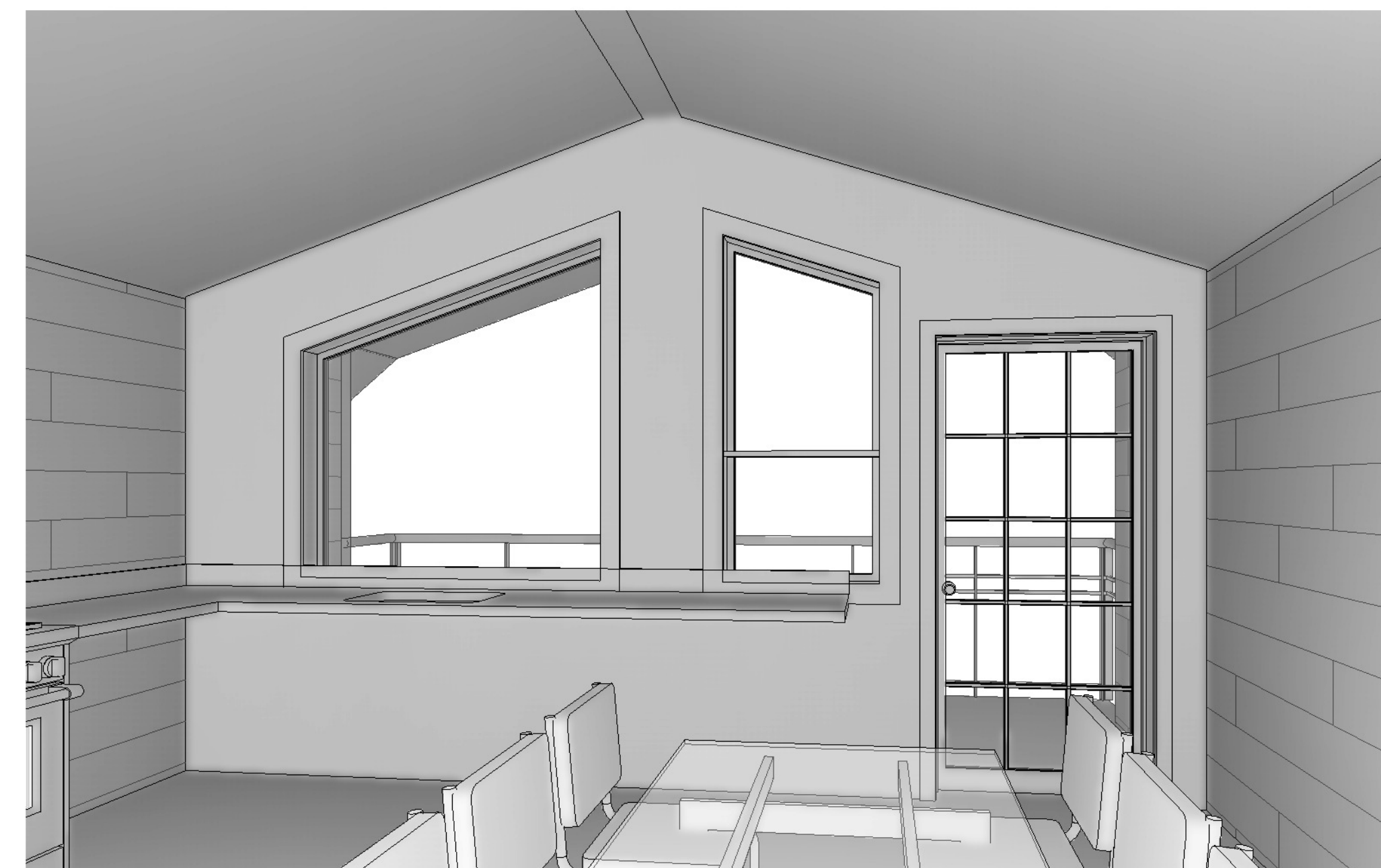
3
A6.0 EXT 3



4
A6.0 INT 2



2
A6.0 EXT 2



5
A6.0 INT 1

Dimensions to Face of Foundation or Framing Stud UNO.

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DO NOT SCALE DRAWINGS
Written dimensions shall govern.

All dimensions to be verified on site by the contractor/builder. Report all errors or additions to the owner or designer prior to proceeding with the work

ISSUED FOR REZONING

No.	Date	Issue/Revision
A	JAN 18/21	ISSUED FOR REZONING

Professional Engineer Stamp:



Project
TASSONE SHOP

1473 MEADOWBROOK DRIVE
CASTLEGAR, BC V1N 3L9

Drawing
PERSPECTIVES

Date	05/08/21	Project No.	C21001-081
Designed	RS	Drawing File	C21001-081 A1
Drawn	RS	Scale	
Checked	AJ	Sheet No.	A6.0
Approved	AJ	Issue/Rev.	A1

DIVISION 15 RURAL RESIDENTIAL (R3)

Permitted Uses

1500 Land buildings and structures in the Rural Residential (R3) zone shall be used for the following purposes only:

Dwellings:

One-Family

Two-Family

Horticulture

Veterinary Clinics

Accessory Uses:

Accessory Buildings and Structures

Accessory Tourist Accommodation

Home Based Business

Keeping of Farm Animals

Micro Cultivation, Cannabis

Micro Processing, Cannabis

Nursery, Cannabis

Sale of Site Grown Farm Products

Portable Sawmills for processing of material harvested on site only

Site Specific – Part E ½ of N ½ of DL 11917 Animal Physical Rehabilitation Facility

Development Regulations

1501

- 1 The minimum site area for each permitted use shall be two (2) hectares.
- 2 The maximum site coverage permitted shall be 50 percent of the lot area.
- 3 The keeping of farm animals shall comply with the requirements of section 613.
- 4 One-family dwellings and two-family dwellings shall be permitted subject to conformance with the density provisions of section 1501(1).
- 5 Buildings and structures in the case of a lot that may be further subdivided shall be sited so as to facilitate the further subdivision of the lot or adjacent lots.
- 6 Portable sawmills shall be located a minimum of 30 metres from any property line.
- 7 *Deleted by Bylaw 2757.*

- 8 An animal rehabilitation facility shall be limited to a parcel no less than 8 hectares (20 acres); no more than 15 animals on the premises at any time; and animals are to be confined within a building between the hours of 9:00 pm and 6:00 am.
- 9 The maximum height of any accessory building or structure shall not exceed 8 metres.
- 10 The maximum footprint of any accessory building or structure shall not exceed 250 square metres.
- 11 The cumulative gross floor area of all accessory buildings or structures shall not exceed 500 square metres.
- 12 Any building or structure for the purposes of cannabis micro cultivation, cannabis micro processing or cannabis nurseries shall be a minimum of 15 metres from all property lines, with the exception of a structure that has a base entirely of soil which may be located within 7.5 metres of a property line.
- 13 Cannabis micro cultivation, cannabis micro processing or cannabis nursery shall not be permitted in a dwelling place.

DIVISION 13 COUNTRY RESIDENTIAL K (R2K)

Permitted Uses

1300 Land, buildings and structures in the Country Residential K (R2K) zone shall be used for the following purposes only:

Dwellings:

One-Family

Two-Family

Horticulture

Accessory Uses:

Accessory Buildings and Structures

Accessory Tourist Accommodation

Day Care Facility

Home Based Business

Keeping of Farm Animals

Sale of Site Grown Farm Products

Secondary Suites and Carriage Houses as per Section 1302

Temporary Guest Accommodation as per Section 1303

Development Regulations

1301

- 1 The minimum site area for each permitted use shall be one (1) hectare.
- 2 The minimum parcel size for a parcel subdivided for a relative under Section 514 of the *Local Government Act* with the approval of the Interior Health Authority shall be 0.8 hectare.
- 3 The maximum site coverage permitted shall be 50 percent of the lot area.
- 4 The keeping of farm animals shall comply with the requirements of section 613.
- 5 One-family dwellings and two-family dwellings shall be permitted subject to conformance with the density provisions of Section 1301(1).
- 6 Buildings and structures in the case of a lot that may be further subdivided shall be sited so as to facilitate further subdivision of the lot or adjacent lots.
- 7 The maximum height of any accessory building or structure shall not exceed 8 metres.
- 8 The maximum gross floor area of any accessory building or structure shall not exceed 200 square metres.
- 9 The cumulative gross floor area of all accessory buildings or structures shall not exceed 400 square metres.

Secondary Suites and Carriage Houses

1302

- 1 Subject to compliance with the requirements of the Interior Health Authority for sewage disposal and water supply, one (1) secondary suite OR carriage house per lot is permitted as an accessory use to a one-family dwelling subject to the following:
 - a. the minimum site area shall be 1 hectare;
 - b. a maximum gross floor area of 90 square metres;
 - c. the secondary suite or carriage house shall not be a vehicle; and
 - d. the secondary suite or carriage house shall have a separate entrance and separate living, sleeping sanitary and kitchen facilities from the one-family dwelling.
- 2 The minimum separation distance between a carriage house, inclusive of attached decks and porches, and another dwelling shall be three (3) metres.
- 3 A secondary suite shall not comprise more than 40 percent of the total floor area of the primary dwelling.
- 4 One (1) additional off-street parking space shall be provided for a secondary suite or a carriage house.
- 5 Recreation vehicles shall not be used as rental accommodation.
- 6 Secondary suites and Carriage Houses shall not be used as tourist accommodation.

Temporary Guest Accommodation

1303

- 1 Subject to compliance with the requirements of the Interior Health Authority for sewage disposal and water supply, one (1) cabin per lot for the temporary accommodation of guests is permitted as an accessory use to a one-family or two-family dwelling subject to the following:
 - a. the minimum site area for the guest cabin shall be 1.4 hectares; and
 - b. a maximum gross floor area for a cabin of 100 square metres.
- 2 Subject to section 1301 (1), a recreation vehicle may be used for temporary guest accommodation provided that no more than two (2) recreation vehicles shall be located on a lot and recreation vehicles shall be required to be licensed and remain mobile consistent with the original design of the vehicle, and a recreation vehicle that has its wheels or towing hitch removed, or is placed on footings or foundation, or includes additions such as porches, decks or a roof structure or in any way is altered or situated so as to be permanently affixed to the lot shall be considered a dwelling or guest cabin.

- 3 The minimum separation distance between a guest cabin, inclusive of attached decks and porches, and another dwelling shall be three (3) metres.
- 4 Each guest cabin or recreation vehicle that is used as temporary guest accommodation shall have sufficient site area to accommodate two (2) off-street parking spaces.
- 5 Temporary Guest Accommodation cabins or recreational vehicles shall not be used as rental accommodation.
- 6 A Temporary Guest Accommodation use and an Accessory Tourist Accommodation Use cannot be operated on the same lot at the same time.

1 GOAL

To present a Land Use pattern that achieves the orderly, environmentally sensitive development and sustainable use of land within the Plan Area.

2 OBJECTIVES

2.1 Residential

- 2.1.1 To encourage co-ordinated subdivision of land.
- 2.1.2 To consider development proposals in relation to the provision of services.
- 2.1.3 To provide for a choice of housing.
- 2.1.4 To minimize conflicts between housing and other adjacent land uses.
- 2.1.5 To encourage non-profit housing for seniors and low income residents.
- 2.1.6 To maintain the rural character, environmental integrity, the social and cultural diversity of the Plan Area.
- 2.1.7 To encourage some limited higher density residential development subject to adequate servicing and the maintenance of rural character.
- 2.1.8 To encourage and promote the undertaking of feasibility studies investigating the possibility of residential development on large tracts of land within the Plan Area which can be utilized to relieve current pressures on development within existing settled areas.

2.2 Environmental

- 2.2.1 To preserve natural values.
- 2.2.2 To protect environmentally sensitive lands such as steep slopes, floodplains, watersheds and soils subject to erosion from land uses having major environmental impacts.
- 2.2.3 To protect all watersheds within the Plan Area.
- 2.2.4 To provide for the protection and enhancement of buildings and sites of historical and archaeological value.
- 2.2.5 To consider a Tree Cutting Bylaw pursuant to Section 978 of the *Municipal Act* to regulate the tree cutting on private lands where natural hazards are evident.

2.3 Agricultural

- 2.3.1 To identify lands with continuing value for agriculture.
 - 2.3.2 To encourage the protection and agricultural use of land with continuing value for agriculture.
 - 2.3.3 To encourage optimum use and development of agricultural activities on agricultural land.
-

agricultural lands will be considered and encouraged by the Board of the Regional District.

3.2.4 Country Residential 2 Policies

3.2.4.1 The principal use shall be residential and/or agriculture.

3.2.4.2 One single detached dwelling or duplex shall be permitted per lot. In addition, if a lot is developed with a single detached dwelling, a manufactured home may be placed on the lot to provide temporary accommodation for a relative of the occupant of the principal dwelling. Lands within the Agricultural Land Reserve shall comply with the *Agricultural Land Commission Act, Regulations and Orders*.

3.2.4.3 The minimum lot size shall be one (1) hectare with the exception of Lot 19, District Lot 1239, Kootenay District Plan 5230 which shall be .39 hectare.

3.2.5 Rural Residential Policies (As shown on Schedule 'B' - Land Use Designations)

3.2.5.1 The principal use shall be residential or agricultural.

3.2.5.2 One dwelling unit shall be permitted per lot and one additional dwelling shall be permitted for every two (2) hectares of lot area over two (2) hectares.

3.2.5.3 The average lot size for subdivision of Rural Residential land shall be at least two (2) hectares.

3.2.5.4 Within this designation a number of different zones may be applied allowing differing levels of uses accessory to residential uses.

3.2.5.5 The clustering of development in either single detached or multi-residential dwellings subject to the maintenance of buffers on non-agricultural lands will be considered and encouraged by the Board of the Regional District.

3.2.6 Remote Residential Policies (As shown on Schedule 'B' - Land Use Designations)

3.2.6.1 The principal use shall be residential or agricultural.

3.2.6.2 Non-ALR lands greater than ten (10) hectares in area that are limited by access, topography and/or natural hazards shall be designated *Remote Residential*.

3.2.6.3 Lands designated *Remote Residential* shall have a minimum lot size of two (2) hectares. One single detached dwelling or duplex is permitted and one additional single detached dwelling or duplex shall be permitted per every additional four (4) hectares of lot area.

3.2.6.4 Within this designation a number of different zones may be applied allowing differing levels of uses accessory to residential uses.

3.2.6.5 The clustering of development in either single detached or multi-residential dwellings subject to the maintenance of buffers on non-