



**REGIONAL DISTRICT OF CENTRAL KOOTENAY**  
**BOX 590, 202 Lakeside Drive, NELSON, BC V1L 5R4**  
 ph: 250-352-8165 fax:250-352-9300  
 email: [plandept@rdck.bc.ca](mailto:plandept@rdck.bc.ca)

**REFERRAL FORM**  
**DEVELOPMENT PERMIT APPLICATION**  
**RDCK Planning File: D2118F**  
**Date: November 18, 2021**

**You are requested to comment on the attached DEVELOPMENT PERMIT for potential effect on your agency's interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO December 18, 2021). If no response is received within that time, it will be assumed that your agency's interests are unaffected.**

**LEGAL DESCRIPTION & GENERAL LOCATION:**

2677 GREENWOOD ROAD, UPPER SIX MILE, ELECTORAL AREA 'F'  
 PARCEL A, LOT 41, PLAN NEP1329, DISTRICT LOT 787, KOOTENAY LAND DISTRICT, EXCEPT PLAN EPP78000, (REF PL 43898D) (PID: 007-718-233)

**PRESENT USE AND PURPOSE OF PERMIT REQUESTED:**

An existing manufactured home currently occupies the subject property. The applicant seeks to construct in phases, 11 two-storey townhouse buildings each containing four-units, totalling 44 new multi-family dwelling units overall on this site. This DP application seeks the RDCK's review of Phase One of this project, which includes the construction of one four-unit townhouse building and related carport structures.

A Development Permit (DP) is triggered to guide the form and character of new development under the *Electoral Area 'F' Official Community Plan (OCP) Bylaw No. 2214, 2011* since the subject property is designated 'High Density Residential'. The intent is to encourage high quality design, building, development and landscape standards that maintain and enhance the rural character of the area, improve energy efficiency, and maintain high water quality.

AREA OF PROPERTY	ALR STATUS	ZONING	OCP
2.5 hectares	N/A	High Density Residential (R6)	High Density Residential (HR)

**APPLICANT:** Studio 9 Architecture c/o Nelson Rocha

**OTHER INFORMATION: ADVISORY PLANNING COMMISSION PLEASE NOTE:**

If your Advisory Planning Commission plans to hold a meeting to discuss this Development Permit application, please note that the applicants must be provided with an opportunity to attend such meeting, in accordance with Section 461, subsection (8) of the *Local Government Act*, which reads as follows:

*"If the commission is considering an amendment to a plan or bylaw, or the issue of a permit, the applicant for the amendment or permit is entitled to attend meetings of the commission and be heard."*

**Please fill out the Response Summary on the back of this form. If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this permit.**

**STEPHANIE JOHNSON, PLANNER**  
**REGIONAL DISTRICT OF CENTRAL KOOTENAY**

**TRANSPORTATION**

- West Kootenay District Office, Nelson
- HABITAT BRANCH (Environment)
- FRONT COUNTER BC (FLNRORD)
- Nelson
- Cranbrook
- AGRICULTURAL LAND COMMISSION
- REGIONAL AGROLOGIST
- ENERGY & MINES

**REGIONAL DISTRICT OF CENTRAL KOOTENAY**

**DIRECTORS FOR:**

- A  B  C  D  E  F  G  H  I  J  K

**ALTERNATIVE DIRECTORS FOR:**

- A  B  C  D  E  F  G  H  I  J  K

APC AREA F

RDCK FIRE SERVICES

- District Chief Nora Hannon – Kaslo, Balfour, Harrop, North Shore & Ymir

- MUNICIPAL AFFAIRS & HOUSING
- INTERIOR HEALTH
- HBE Team, Nelson
- KOOTENAY LAKES PARTNERSHIP  
(FORESHORE DEVELOPMENT PERMITS)
- SCHOOL DISTRICT NO.
- WATER SYSTEM OR IRRIGATION DISTRICT
- UTILITIES (FORTIS, BC HYDRO, NELSON  
HYDRO, COLUMBIA POWER)

- District Chief George Hamm – Pass Creek, Ootischenia,  
Robson, Tarry’s & Beasley
- District Chief Gord Ihlen – Crescent Valley, Passmore,  
Winlaw, Slocan & Blewett

- RDCK EMERGENCY SERVICES
- RDCK BUILDING SERVICES
- RDCK UTILITY SERVICES
- RDCK RESOURCE RECOVERY
- RDCK REGIONAL PARKS

INSERT COMMENTS ON REVERSE . . .

The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), [info@rdck.bc.ca](mailto:info@rdck.bc.ca), or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

## RESPONSE SUMMARY

**FILE: D2118F APPLICANT: Studio 9 Architecture c/o Nelson Rocha**

Name:

Date:

Agency:

Title:

RETURN TO: STEPHANIE JOHNSON, PLANNER  
DEVELOPMENT SERVICES  
REGIONAL DISTRICT OF CENTRAL KOOTENAY  
BOX 590, 202 LAKESIDE DRIVE  
NELSON, BC V1L 5R4  
Ph. 250-352-8175  
Email: [plandept@rdck.bc.ca](mailto:plandept@rdck.bc.ca)

# Air Photo Map







Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen,



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
Box 590, 202 Lakeside Drive,  
Nelson, BC V1L 5R4  
Phone: 1-800-268-7325 www.rdck.bc.ca  
maps@rdck.bc.ca

### Legend

-  Electoral Areas
-  RDCK Roads
-  Cadastre
-  Civic Address

### Map Scale:

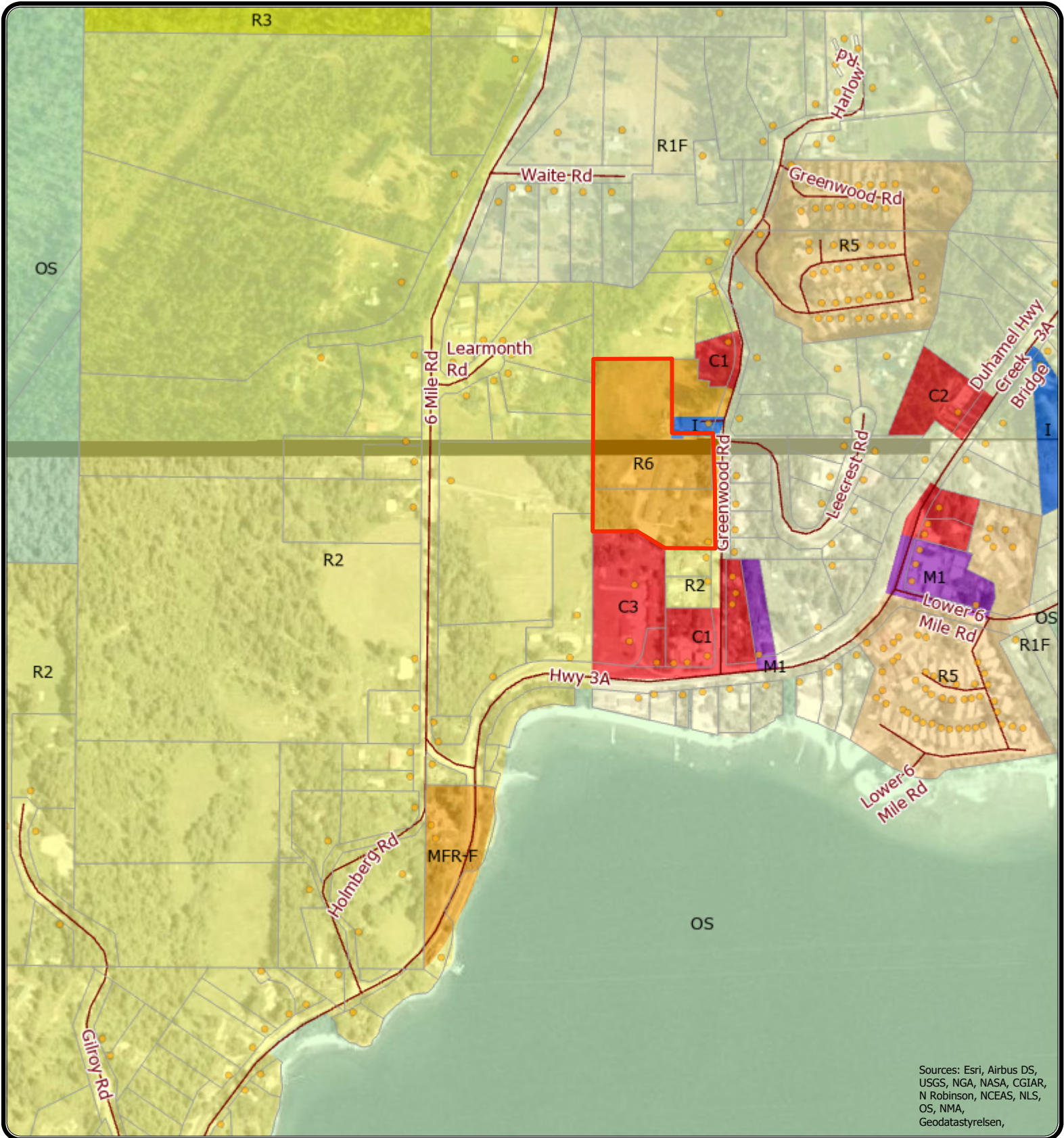
1:2,257

Date: November 18, 2021



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

# Zoning Map



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen,



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Zoning Class		Legend	
<span style="color: red;">■</span> Commercial	<span style="color: yellow;">■</span> Residential 3	<span style="border: 1px dashed red;">□</span> Electoral Areas	<span style="color: brown;">—</span> RDCK Roads
<span style="color: purple;">■</span> Industrial	<span style="color: orange;">■</span> Residential 5	<span style="border: 1px solid black;">□</span> Cadastre	<span style="color: orange;">●</span> Civic Address
<span style="color: blue;">■</span> Institutional	<span style="color: lightorange;">■</span> Residential 6		
<span style="color: lightorange;">■</span> Multi-Family Residential			
<span style="color: lightgreen;">■</span> Open Space			
<span style="color: yellow;">■</span> Residential 1			
<span style="color: lightyellow;">■</span> Residential 2			

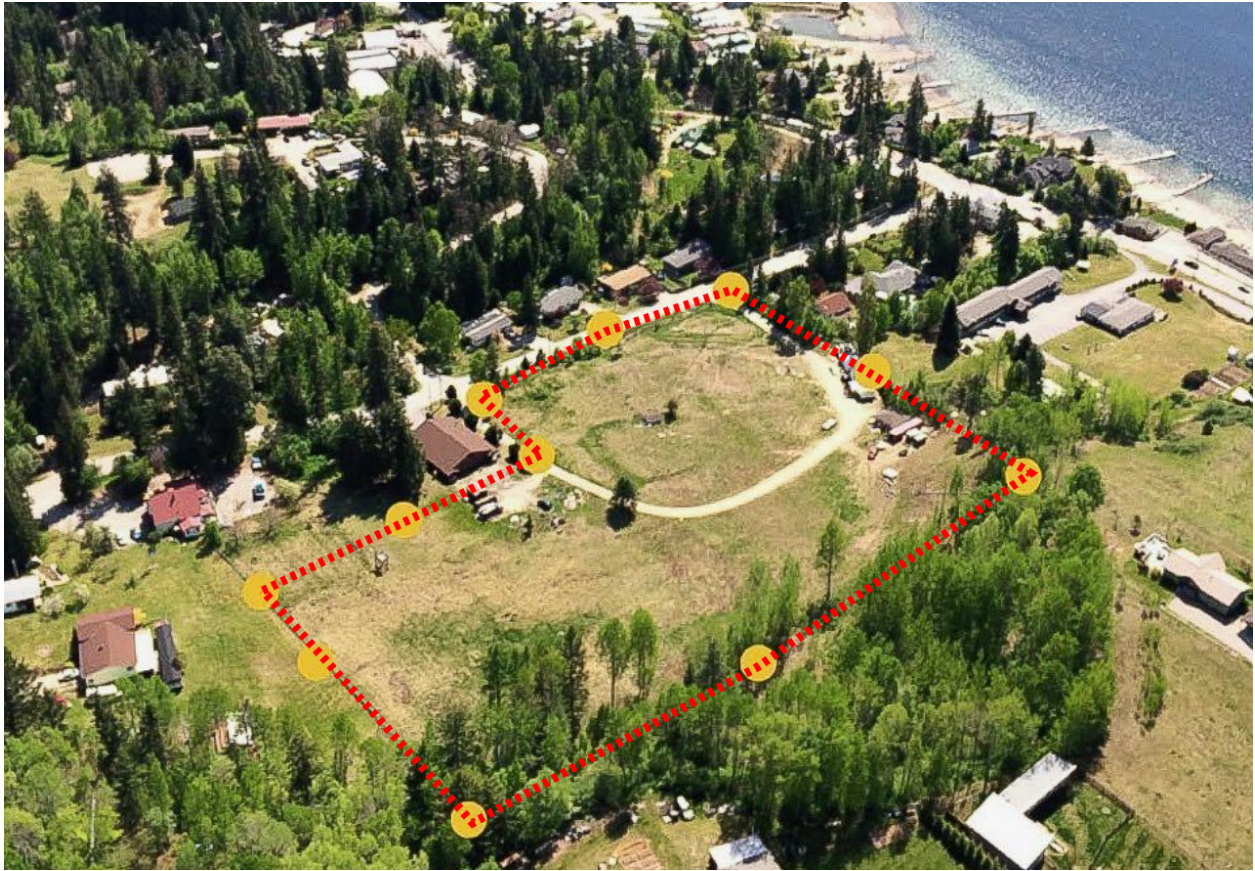
**Map Scale:**

1:9,028

Date: November 18, 2021



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### GREENWOOD VILLAGE PROPOSAL SUMMARY

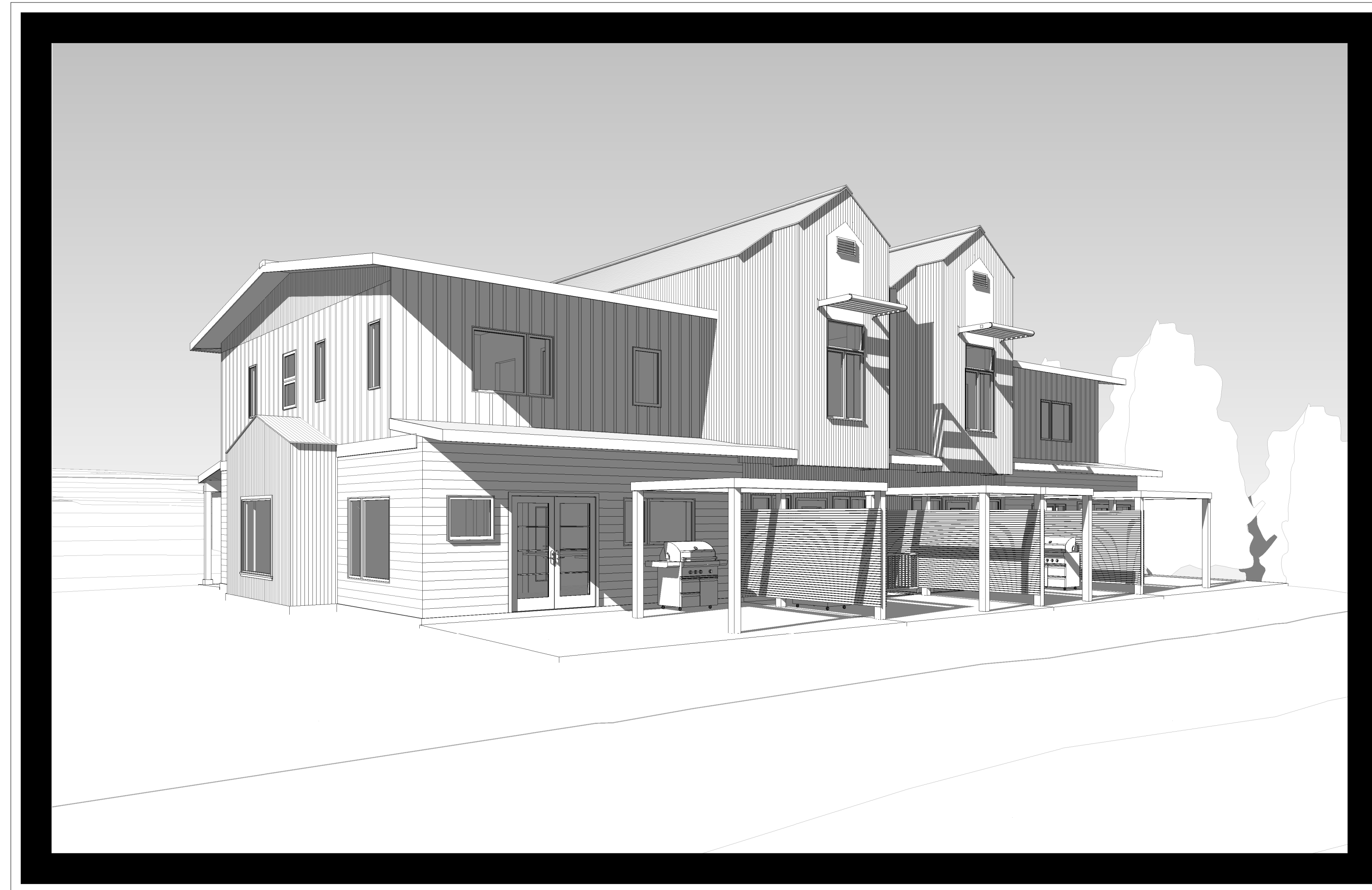
1264830 BC Ltd. is proposing to construct a total of eleven 2-storey, 8,000 s.f., wood frame, 4-unit townhouses at 2677 Greenwood Road with a multi-year, phased development called Greenwood Village. The 6-acre property is zoned R6 Multi-Unit Residential and accepts the proposed density and type of development. No variances, zoning or otherwise, are being pursued at this time. This development permit application pertains ONLY to Phase 1 of Greenwood Village which consists of one 4-unit townhouse and carport. If Phase 1 proves to be successful, the remaining ten townhouses will be filed under a separate development permit application either as Phase 2 or in multiple phases smaller in scope. As per Section 20.0 of the Electoral Area F Official Community Plan, the proposed high density residential development is required to apply for a development permit. We have reviewed the objectives under Sub-Section 20.3 and believe that Phase 1 of Greenwood Village meets all of the objectives.

# Greenwood Village

2677 Greenwood Road  
Nelson, BC

studio **9**  
ARCHITECTURE + PLANNING LTD.

1307 TREVOR STREET  
NELSON, BRITISH COLUMBIA  
V1L 0A4  
250.354.3959  
WWW.STUDIO9ARCHITECTURE.COM



# DOCUMENT INDEX

## ARCHITECTURAL

- A000 Cover Sheet
- A001 Project Info
- A002 Code Summary
- A101 Site Plan & Area Plans
- A102 Crawl Space + Basement Plan
- A103 Main Floor Plan
- A104 Second Floor Plan
- A105 Roof Plan
- A201 Elevations
- A202 Elevations
- A301 Building Sections

## PROJECT DATA

**PROJECT DESCRIPTION**  
Step Code 5 two-storey, 4-unit residence with conventional wood frame construction on ICF foundation.

- APPLICABLE ZONING + PLANNING DOCUMENTS**
- Area F - Official Community Plan Bylaw No. 2214, 2011
  - Zoning for Areas F, 1, 2, K Bylaw No. 1675, 2004
  - Building Bylaw No. 2200, 2010
  - Floodplain Management Bylaw No. 2080, 2009
  - Manufactured Home Parks Bylaw No. 1082, 1995
  - Planning Procedures and Fees Bylaw No. 2457, 2015

**PROPERTY INFORMATION**

Electoral Area: Area F  
Civic Address: 2677 Greenwood Road  
Land Use Designation: HR - High Density Residential  
Development Permit Area: Yes (see Section 20, Area F OCP)  
Zoning: R6 - Multi-Unit Residential  
Legal Description: Lot: 41 KL: 787 Plan: NEP1329 LD: 26 Kootenay Legal Form: Parcel A, Except Plan EPP78000, (REF PL 43898D), Parcel A, Lot 41, Plan NEP 1329, DL 787, KLD, (REF PL 72261)

Folio #: 707.03562.050  
PID: 007-718-179 and 007-718-233

Property Area:  
North Lot: 4.04 ac./1.64 ha/16,350 m<sup>2</sup>/175,994 ft<sup>2</sup>  
South Lot: 2.02 ac./0.82 ha/ 8,187 m<sup>2</sup>/ 88,124 ft<sup>2</sup>  
Total: 6.06 ac./2.45 ha/24,537 m<sup>2</sup>/264,118 ft<sup>2</sup>

**GENERAL ZONING REQUIREMENTS**

**Definitions**  
*Site area* means the area of a lot or part thereof sufficient to satisfy the provisions for each permitted use in this bylaw.  
*Site coverage* means the area of a lot covered by structures, buildings, driveways, parking areas and outdoor storage.

**605 Setbacks**  
Front & Exterior Side Lot Lines: 7.5 m  
Other Lot Lines: 2.5 m

**611 Off-street Parking**  
One-Family Dwelling: 2 spaces per dwelling unit  
Two-Family Dwelling: 2 spaces per dwelling unit  
Multi-Family Dwelling: 1.2 spaces per dwelling unit  
Minimum Size: 17.0 m<sup>2</sup>, 5.8 x 2.6 x 2.2 m (lwxh) (19' x 8.5' x 7.2)  
Parking spaces that abut a wall along its side shall be increased by 0.6 m (2'-0") from the min.  
One U/A parking stall for every ten parking spaces required.  
Minimum width of roads serving parking: 3.6 m for one-way, 6.6 m for two-way.  
Parking and aisles for all multi-unit residential developments must be surfaced with asphalt or concrete, designed for drainage and have adequate lighting.  
Maximum slope for parking areas more than 3 spaces is 6% (applies only to area providing required parking spaces, not to driveway providing access to parking spaces).

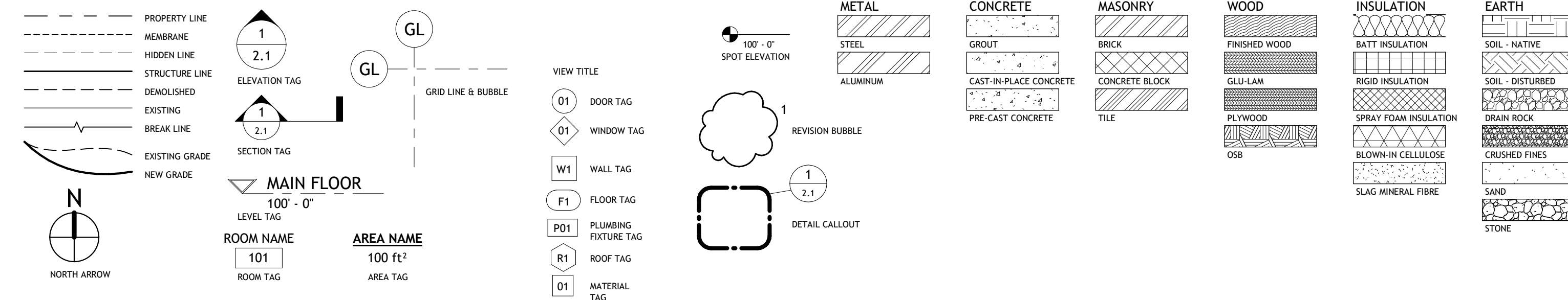
**622 Landscaping**  
At least 30% of the total area of any lot used for multi-unit residential purposes shall be maintained as open space landscaped area in a permeable state.

**R6 - MULTI-UNIT RESIDENTIAL ZONING REQUIREMENTS (existing zoning)**  
Permitted Uses  
One, two, and multi-family dwellings, accessory buildings & structures, home-based business.

**Development Regulations**  
Minimum *site area* per unit with community water supply and community sewer system:  
One-Family Dwelling: 700 m<sup>2</sup> (max 35 dwelling units)  
Two-Family Dwelling: 500 m<sup>2</sup> (max 49 dwelling units)  
Multi-Family Dwelling: 300 m<sup>2</sup> (max 81 dwelling units)

Maximum *site coverage*: 50% (includes structures, buildings, driveways, parking areas and outdoor storage).

# LEGEND



# GENERAL NOTES

### Division 01 General Requirements

1. THE CONTRACTOR HAS WARRANTED THAT THEY POSSESS THE COMPETENCE AND SKILLS REQUIRED TO BUILD THIS PROJECT. THE ARCHITECT SHALL ASSUME NO RESPONSIBILITY AND SHALL NOT BE RESPONSIBLE FOR FAILURE TO RECOGNIZE AND UTILIZE APPROPRIATE MATERIALS AND STANDARDS RECOGNIZED IN RESIDENTIAL AND COMMERCIAL CONSTRUCTION METHODS.
2. CONTRACTOR TO VERIFY THAT THE DRAWINGS AND DOCUMENTS USED TO CONSTRUCT THE BUILDING ARE 'ISSUE FOR CONSTRUCTION'.
3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS, AND THE CONTRACT DOCUMENTS.
4. LOCATION OF BUILDING ON SITE TO BE VERIFIED BY QUALIFIED LAND SURVEYOR.
5. THE CONTRACTOR OR HIS/HER REPRESENTATIVES SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION AND/OR ADDITIONAL CONSTRUCTION TO EXISTING STRUCTURES ON THE SITE.
6. LOAD BEARING CAPACITY OF SOILS TO BE PROVIDED BY A QUALIFIED GEO-TECHNICAL ENGINEER.
7. STACKED ROCK RETAINING WALLS GREATER THAN 1.8m (6'-0") IN HEIGHT TO BE DESIGNED BY A QUALIFIED GEO-TECHNICAL ENGINEER.
8. THE FOLLOWING ITEMS MUST BE DESIGNED AND/OR REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER: ALL MANUFACTURED ENGINEERED WOOD PRODUCTS, RETAINING WALLS GREATER THAN 1.8m (6'-0") IN HEIGHT, CLEAR SPANS LARGER THAN 12.2 m (40'-0").
9. THE OWNER IS RESPONSIBLE FOR ASSESSING THE SITE FOR ANY HAZARDOUS MATERIALS AND PERFORMING TESTS AS PER WORKSAFE BC STANDARDS PRIOR TO CONSTRUCTION.
10. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT AND/OR THE APPROPRIATE CONSULTANT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS AND SAMPLES.
11. THE CONTRACTOR OR HIS/HER REPRESENTATIVES SHALL VERIFY ALL DIMENSIONS AND ITS CONDITIONS BEFORE BEGINNING WORK. SHOULD A DISCREPANCY APPEAR IN THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED.
12. SHOULD A CONFLICT OR DISCREPANCY OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR MATERIALS.
13. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS, LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
14. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS.
15. ALL DIMENSIONS ARE TO FACE OR CENTRE OF STRUCTURE U.N.O.
16. AREA CALCULATIONS COMPLY WITH **SQUARE FOOTAGE-METHOD FOR CALCULATING: ANSI Z765-2003**. FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS PROJECT ARE MADE BASED ON THESE PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE BUILDING AS BUILT.
17. FINISHED AREA - AN ENCLOSED AREA IN A BUILDING THAT IS SUITABLE FOR YEAR-ROUND USE, EMBODYING WALLS, FLOORS, AND CEILINGS THAT ARE SIMILAR TO THE REST OF THE HOUSE.
18. UNFINISHED AREA - SECTIONS OF A BUILDING THAT DO NOT MEET THE CRITERIA OF A FINISHED AREA (E.G. GARAGES).
19. THE FINISHED SQUARE FOOTAGE OF EACH LEVEL IS THE SUM OF FINISHED AREAS ON THAT LEVEL MEASURED AT FLOOR LEVEL TO THE EXTERIOR FINISHED SURFACE OF THE EXTERIOR WALLS.
20. INTERIOR ROOM AREAS DO NOT INCLUDE WALL THICKNESS.
21. THE CONTRACTOR OR HIS/HER REPRESENTATIVES SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER.
22. THE CONTRACTOR AND SUBCONTRACTORS SHALL DO ALL CUTTING, FITTING, OR PATCHING OF THEIR WORK THAT MAY BE REQUIRED AND SHALL NOT COMPROMISE ANY OTHER WORK BY OTHER CONTRACTORS. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED DURING THE WORK SHALL BE DONE WITH MATERIALS & TECHNIQUES THAT MATCH SURROUNDING SURFACES AND FINISHES.
23. CONTRACTOR TO VERIFY LOCATION FOR ALL EQUIPMENT & FIXTURES WITH THE OWNER PRIOR TO DRYWALL INSTALLATION.
24. ALL WET LOCATIONS TO HAVE WATER RESISTANT GYPSUM BOARD OR APPROVED TILE UNDERLAY.
25. PROVIDE SOLID WOOD BLOCKING FOR ALL BATHROOM FIXTURES AND/OR EQUIPMENT.
26. WHERE FRAMING LARGER THAN CONVENTIONAL STUDS OR FURRING ARE REQUIRED THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
27. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING BUILDING AND SAFETY CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION.
28. ALL MECHANICAL FASTENING TO ACQ PRESSURE TREATED WOOD TO BE STAINLESS STEEL OR APPROVED COMPATIBLE MATERIAL U.N.O.
29. RADON MITIGATION REQUIRED IN RADON AREAS WITH ELEVATED RISK. PIPING AND VAPOUR BARRIER MEMBRANE SEAL IS REQUIRED BELOW SLABS ON GRADE WHERE HUMAN OCCUPANCY WILL OCCUR. DIRECT RADON PIPE THROUGH ROOF TO THE EXTERIOR.
30. ALL INTERIOR PARTITION HEADERS TO ALLOW FOR MIN. 3/4" DEFLECTION.
31. PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF REQUIRED FIRE SEPARATIONS.
32. PROVIDE ACOUSTIC BATT INSULATION IN WALL CAVITIES & CEILING DROPS WITH VERTICAL PLUMBING RUNS OR HORIZONTAL PLUMBING OFFSETS & PROVIDE CLEARANCE BETWEEN ALL PLUMBING & DRYWALL.
33. ALL NATURAL WATER SOURCES, COURSES AND WATER WAYS WILL BE PROTECTED FROM CONTAMINATION BY THE CONSTRUCTION PROCESS UTILIZING STANDARDS SET BY THE FOLLOWING ORGANIZATIONS: MINISTRY OF TRANSPORTATION, MINISTRY OF ENVIRONMENT.
34. NO NATURAL WATER SOURCE, COURSE OR WATER WAY WILL BE ALTERED WITHOUT WRITTEN CONSENT OF CIVIL ENGINEER AND ARCHITECT.

### Division 03 Concrete

1. ALL REINFORCED CONCRETE REQUIRED FOR STRUCTURAL SUPPORT TO MEET OR EXCEED BCBC PART 4 AND 9.3.1.7. MIXTURE REQUIREMENTS.
2. COLD WEATHER INSTALLATION OF CONCRETE SHALL BE PER 9.3.1.9 PROVISIONS.
3. ALL EXTERIOR CONCRETE WALKING SURFACES ARE TO BE BROOM FINISH U.N.O.
4. APPROVED FOUNDATION BREAK/EXPANSION JOINT MATERIAL IS REQUIRED AT ALL LOCATIONS WHERE CONCRETE ABUTS CONCRETE OR OTHER BUILDING SURFACE.
5. SEAL ALL PENETRATIONS OF CONCRETE SLAB AT INTERIOR SPACES WITH URETHANE SEALER, OR APPROVED ALTERNATE.

### Division 05 Metals

1. ALL METAL FABRICATION FOR STRUCTURAL STEEL TO BE PROVIDED BY CWB WELDER, OR APPROVED ALTERNATE BY LICENCED STRUCTURAL ENGINEER UTILIZING BCBC PART 9 AND/OR PART 4 REQUIREMENTS.
2. METAL HANDRAILS TO BE FABRICATED BY CWB WELDER. SHOP REVIEW APPROVAL IS REQUIRED BY STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO FABRICATION.
3. METAL HANDRAIL INSTALLATION TO MEET OR EXCEED BCBC FORCE REQUIREMENTS.
4. GALVANIZED METAL USED IN EXPOSED LOCATIONS SHALL HAVE ZINC COATING OR ALUMINUM-ZINC ALLOY COATING PER AZM150.
5. ALL STRUCTURAL STEEL TO BE SEALED OR PAINTED WITH RUST INHIBITING COATING.

### Division 06 Wood, Plastics, and Composites

1. ALL LUMBER AND WOOD PRODUCTS USED SHALL BE GRADED AND HAVE STAMPS INDICATING GRADE AS PER BCBC 9.3.2.1.
2. ALL STRUCTURAL ELEMENTS ARE REQUIRED TO BE REVIEWED AND DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER.
3. ALL WOOD PANEL PRODUCTS TO BE INSTALLED 'FACE OUT' SO THAT GRADE STAMP IS LEGIBLE.
4. NO WOOD PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT GREATER THAN 16%.
5. WOOD SHALL BE PROTECTED FROM RODENTS AND PESTS WITH METAL MESH, STEEL WOOL, OR OTHER APPROVED DETERRENT MOUNTED AT THE EXTERIOR ENVELOPE.
6. ACQ, PRESSURE TREATED OR APPROVED NON-DECAY WOOD WHERE REQUIRED AS STRUCTURAL COMPONENT TO BE USED WHERE CLEARANCE TO FINISH GRADE IS LESS THAN 150mm, EXPOSED TO PRECIPITATION, OR LOCATION IS CONDUCIVE TO WETTING OF WOOD.
7. NO WOOD SHALL BE IN DIRECT CONTACT WITH CONCRETE.
8. NO UNTREATED WOOD SHALL BE LESS THAN 200mm (8" +/-) ABOVE FINISH GRADE.
9. ALL EXTERIOR WOOD CLADDING TO BE BACK-PAINTED.

### Division 07 Thermal and Moisture Protection

1. PERIMETER DRAINS ARE REQUIRED AT THE BASE OF ALL STRUCTURAL WALLS UNLESS QUALIFIED ALTERNATE BY GEO-TECHNICAL ENGINEER.
2. FLASHING: ALL HORIZONTAL JUNCTIONS BETWEEN CLADDING SYSTEMS TO BE CONTINUOUSLY FLASHED WITH NON-RUSTING METAL FLASHING AT MIN. 6% SLOPE, EXTENDING A MIN. OF 10mm OVER CLADDING BELOW, AND WITH DRIP OFFSET AT MIN. 5mm OUTWARD FROM OUTER FACE.
3. ALL FLASHING TERMINATIONS TO HAVE MIN. 25mm (1") END DAM.
4. ROOF PROTECTION:
5. ALL CRAWLSPACES ARE TO HAVE DEDICATED MECHANICAL VENTILATION OR APPROVED NATURAL VENTILATION.
6. ALL CRAWLSPACES ARE TO HAVE SEALED VAPOUR BARRIER AND MIN. 40mm CONCRETE SLIP COAT OR BALLAST.
7. ALL ROOF SPACES ARE TO PASSIVE OR MECHANICAL VENTILATION WITH MIN. OF TWO VENTILATION PATHS.
8. DURABLE RODENT AND INSECT PROTECTION REQUIRED AT ALL EXTERIOR ENVELOPE LOCATIONS WITH SPACES/VOID ACCESSIBLE FROM OUTSIDE ARE GREATER THAN 12.7mm (1/2"). MITIGATION SHALL NOT INHIBIT NATURAL AIR FLOW TO SECONDARY DRAINAGE PLANE.
9. ALL DRYWALL GASKETS TO BE CLOSED-CELL POLYVINYLCHLORIDE (PVC) OR CELLULAR FOAM ETHYLENE PROPYLENE DIENE MONOMER (EPDM) GASKET MATERIALS, OR APPROVED ALTERNATIVE.
10. ALL WOOD FRAME EXTERIOR WALL ASSEMBLIES; FLOOR-TO-WALL, CORNER-TO-CORNER, OR ANY CONTINUOUS FRAMING CONNECTIONS ARE TO HAVE CONTINUOUS SYNTHETIC GASKET OR ACOUSTIC CAULKING.
11. ALL PERIMETER DRYWALL-TO-WOOD FRAME CONNECTIONS TO HAVE CONTINUOUS BEAD OF ACOUSTIC CAULK OR GASKET FOR AIR TIGHT DRYWALL DESIGN.
12. ALL TREATED WOOD PLATE-TO-CONCRETE WALL CONNECTIONS TO HAVE CONTINUOUS SYNTHETIC GASKET.

### Division 08 Openings

1. MANUFACTURED AND PRE-ASSEMBLED WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO
  - A) AAMA/WDMA/CSA 101/11.5.2/A440, "NAFS - NORTH AMERICAN FENESTRATION STANDARD/SPECIFICATION FOR WINDOWS, DOORS, AND SKYLIGHTS" (HARMONIZED STANDARD),
  - B) A44051, "CANADIAN SUPPLEMENT TO AAMA/WDMA/CSA 101/11.5.2/A440, NAFS - NORTH AMERICAN FENESTRATION STANDARD/SPECIFICATION FOR WINDOWS, DOORS, AND SKYLIGHTS"
4. INSTALLATION OF WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO BCBC 9.7.6.
5. GLASS IN DOORS SHALL BE PROTECTED SAFETY GLASS PER BCBC 9.6.1.2.
6. MAXIMUM PERCENTAGE OF GLAZING TO WALL AREA IS 40%. DESIGN AREAS GREATER THAN THIS REQUIRE PERFORMANCE-BASED MODELING.
7. ALL EXTERIOR DOORS TO HAVE DEADBOLT LOCKS PER BCBC 9.6.8.3. AND SECURE NRP HINGES.
8. MAIN ENTRANCE DOOR TO HAVE VIEWER, GLAZING OR SIDELIGHT.
9. ALL SLEEPING ROOMS TO HAVE MINIMUM EGRESS WINDOW PER BCBC 9.7.1.2., AND 9.7.1.3. FOR SILLS LOCATED BELOW GRADE.

### Division 09 Finishes

1. GLASS SHOWER OR BATH ENCLOSURES, DOORS, ETC. SHALL BE SAFETY GLASS.
2. CONTRACTOR TO VERIFY ALL FINISH FLOOR HEIGHTS PRIOR TO CONCRETE TOPPING INSTALLATION. ALL FLOOR FINISHES TO BE FLUSH TRANSITIONS. CONCRETE TOPPING THICKNESSES CANNOT BE MINIMIZED LESS THAN 36mm (1-1/2") WITHOUT APPROVAL BY STRUCTURAL ENGINEER.

### Division 22 Plumbing

1. FLOOR DRAINS ARE REQUIRED IN ALL WET LOCATIONS INCLUDING AND NOT LIMITED TO GARAGES AND MECHANICAL ROOMS.

### Division 23 Heating, Ventilating, and Air Conditioning

1. NOT USED

### Division 25 Integrated Automation

1. CONTRACTOR TO VERIFY ELECTRONIC INTEGRATION OF HOME SYSTEMS WITH OWNER.

### Division 26 Electrical

1. ALL EXTERIOR LIGHTING TO HAVE FULL CUT OFF.
2. ALL ELECTRICAL BOXES AND/OR ELECTRICAL COVERS LOCATED AT EXTERIOR WALLS TO HAVE GASKET-TYPE SEALS.

### Division 27 Communications

1. INTERNET AND CABLE TV LOCATIONS ARE TO BE VERIFIED BY THE OWNER PRIOR TO INSTALLATION.

### Division 31 Earthwork

1. CONCRETE STRUCTURAL RETAINING WALLS GREATER THAN 1.8m (6'-0") VERTICAL HEIGHT ARE TO BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER.
2. STACKED ROCK RETAINING WALLS GREATER THAN 1.8m (6'-0") VERTICAL HEIGHT ARE TO BE DESIGNED BY A QUALIFIED GEO-TECHNICAL ENGINEER.
3. ALL RETAINING WALLS GREATER THAN .6m (2'-0") SHALL HAVE PIPE DEWATERING.
4. NO BRANCH VEGETATION TO WITHIN 2m (6'-6") OF THE BUILDING'S PRIMARY ENVELOPE (WALLS, ROOF, ETC.).
5. 6% POSITIVE SLOPE DRAINAGE TO BE PROVIDED A MINIMUM OF 2m FROM FACE OF EXTERIOR STRUCTURES.
6. SURFACE DRAINAGE TO BE DIRECTED AWAY FROM ALL SEPTIC SYSTEMS AND EQUIPMENT.

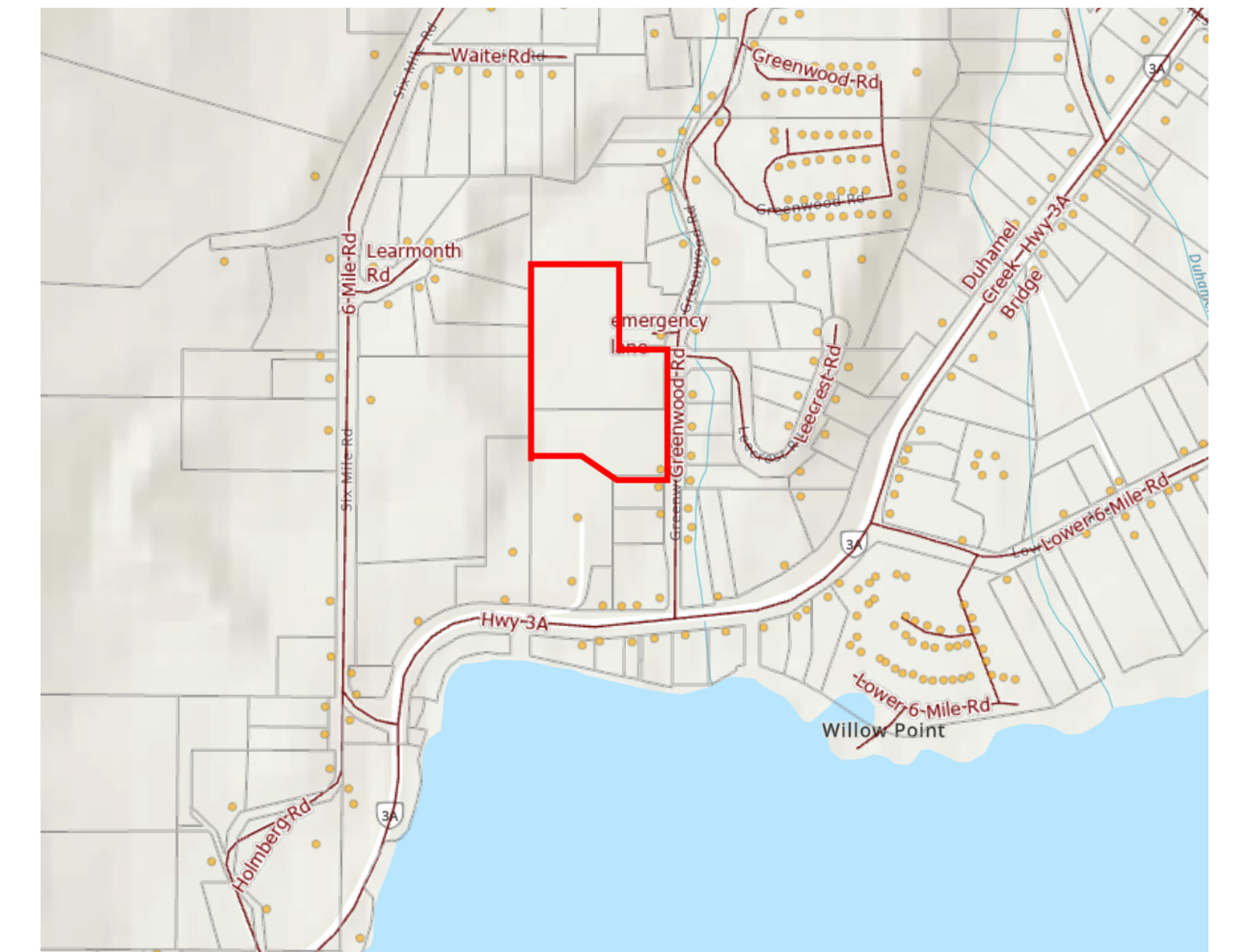
# Greenwood Village

2677 Greenwood Road  
Nelson, BC

Project: 201123

2021.11.18 ISSUE FOR DEVELOPMENT PERMIT - REV. 1

## VICINITY MAP:



ISSUE	DATE	DESCRIPTION
3	2021.11.18	ISSUE FOR DEVELOPMENT PERMIT - REV. 1
2	2021.11.13	ISSUE FOR DEVELOPMENT PERMIT
1	2021.07.29	ISSUE FOR BUILDING PERMIT

# A001 of 11

## Project Info



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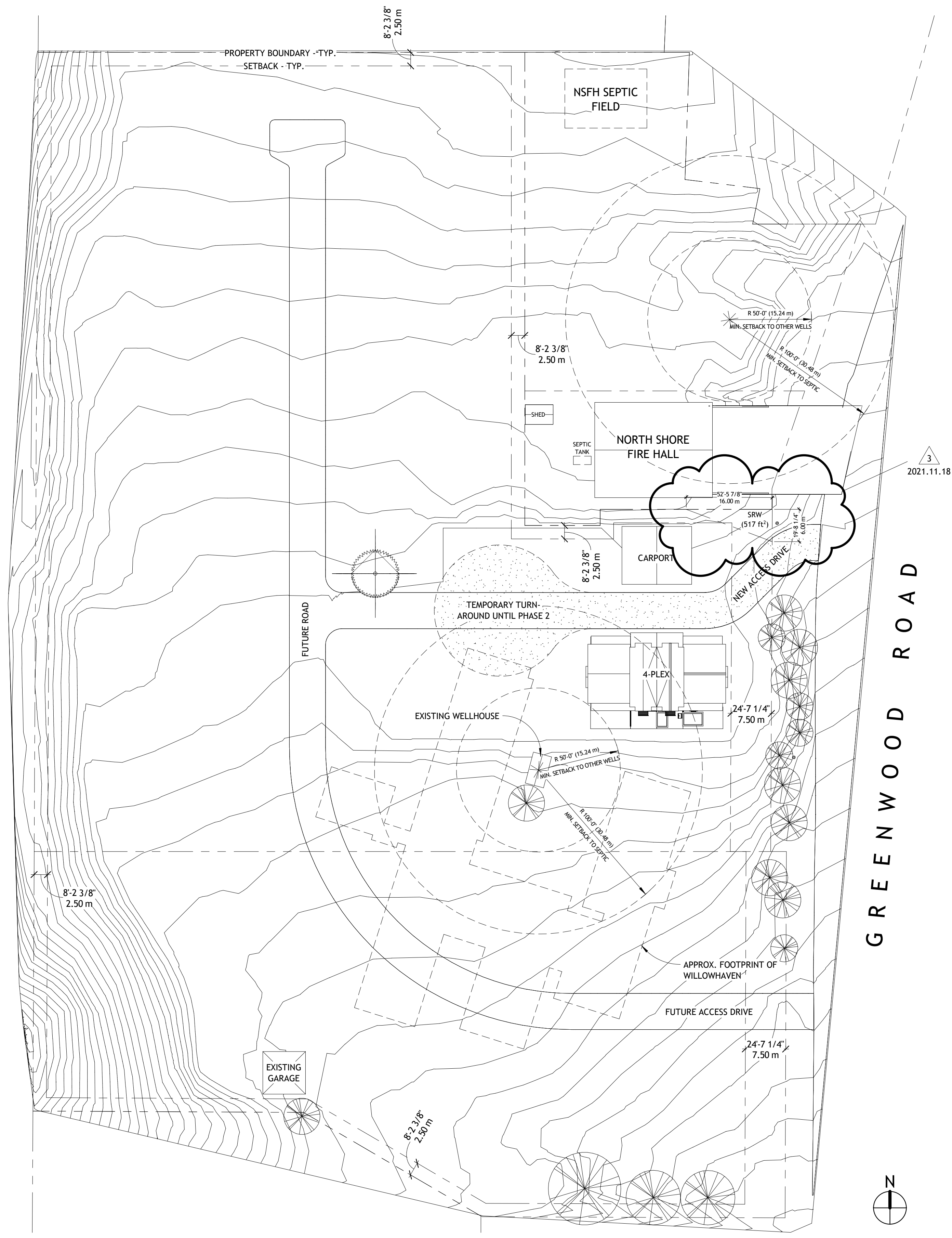
1307 TREVOR STREET  
NELSON, BRITISH COLUMBIA  
V1L 0A4  
250.354.3959  
WWW.STUDIO9ARCHITECTURE.COM

## PROJECT DIRECTORY

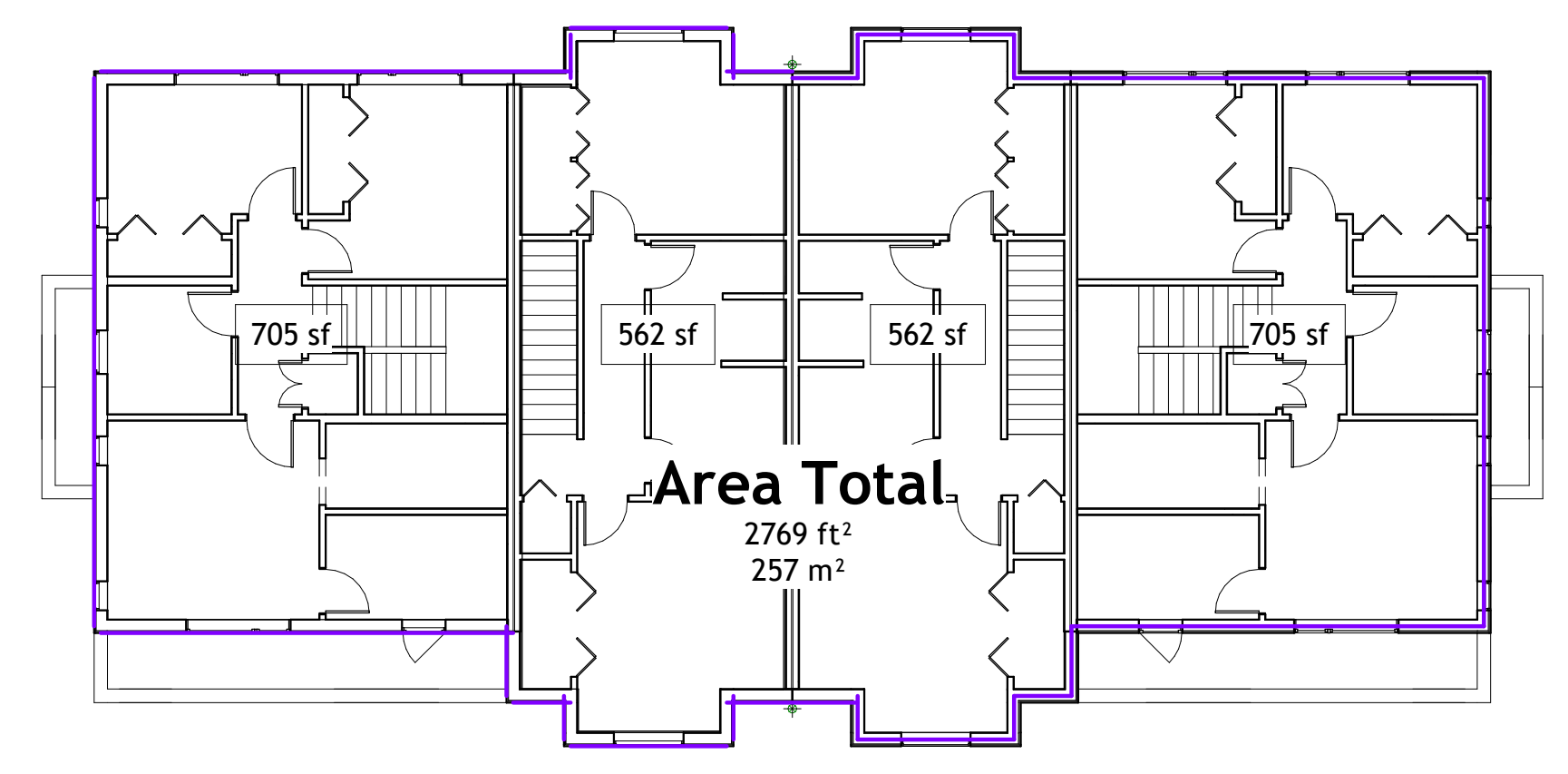
### CONSTRUCTION MANAGER

Name  
Company Name  
Address  
email  
phone

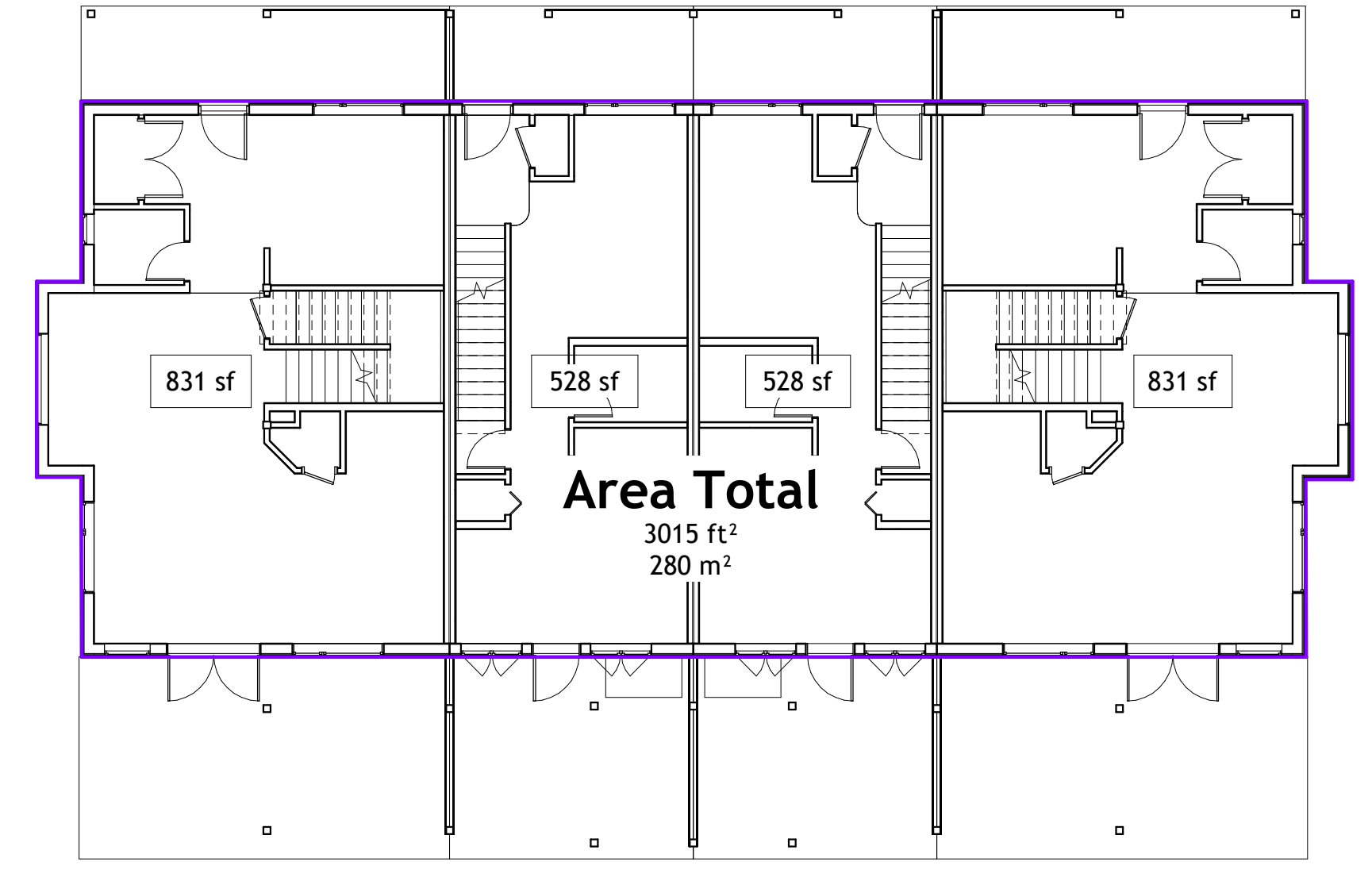




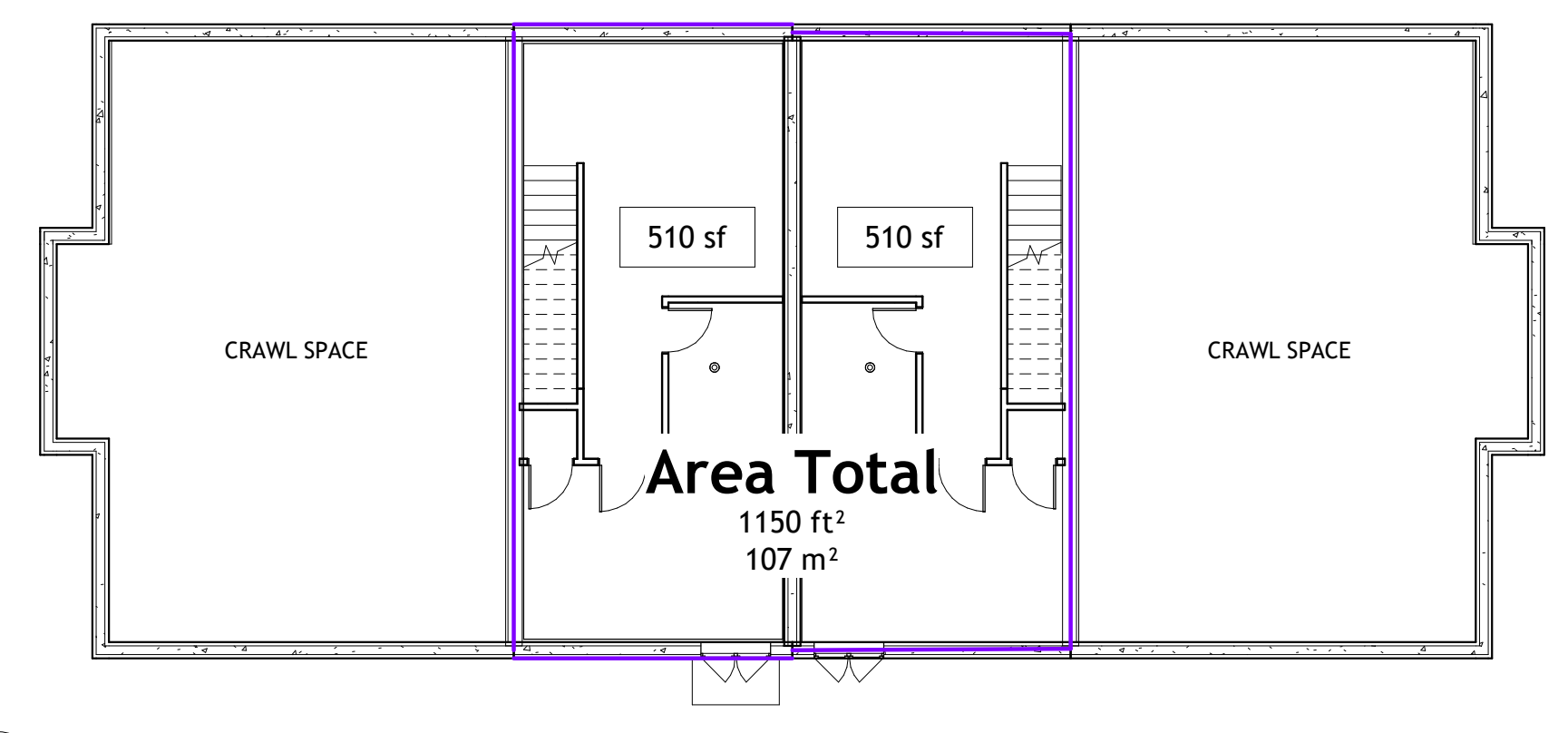
1 Site Plan  
1" = 40'-0"



4 LEVEL 2  
1" = 10'-0"



3 LEVEL 1  
1" = 10'-0"



2 BASEMENT  
1" = 10'-0"

AREA SCHEDULE - SUMMARY			
LEVEL 1	3015 ft <sup>2</sup>	280 m <sup>2</sup>	
LEVEL 2	2769 ft <sup>2</sup>	257 m <sup>2</sup>	
BASEMENT	1150 ft <sup>2</sup>	107 m <sup>2</sup>	Crawl space not included
	6934 ft <sup>2</sup>	644 m <sup>2</sup>	

**Greenwood Village**  
2677 Greenwood Road  
Nelson, BC

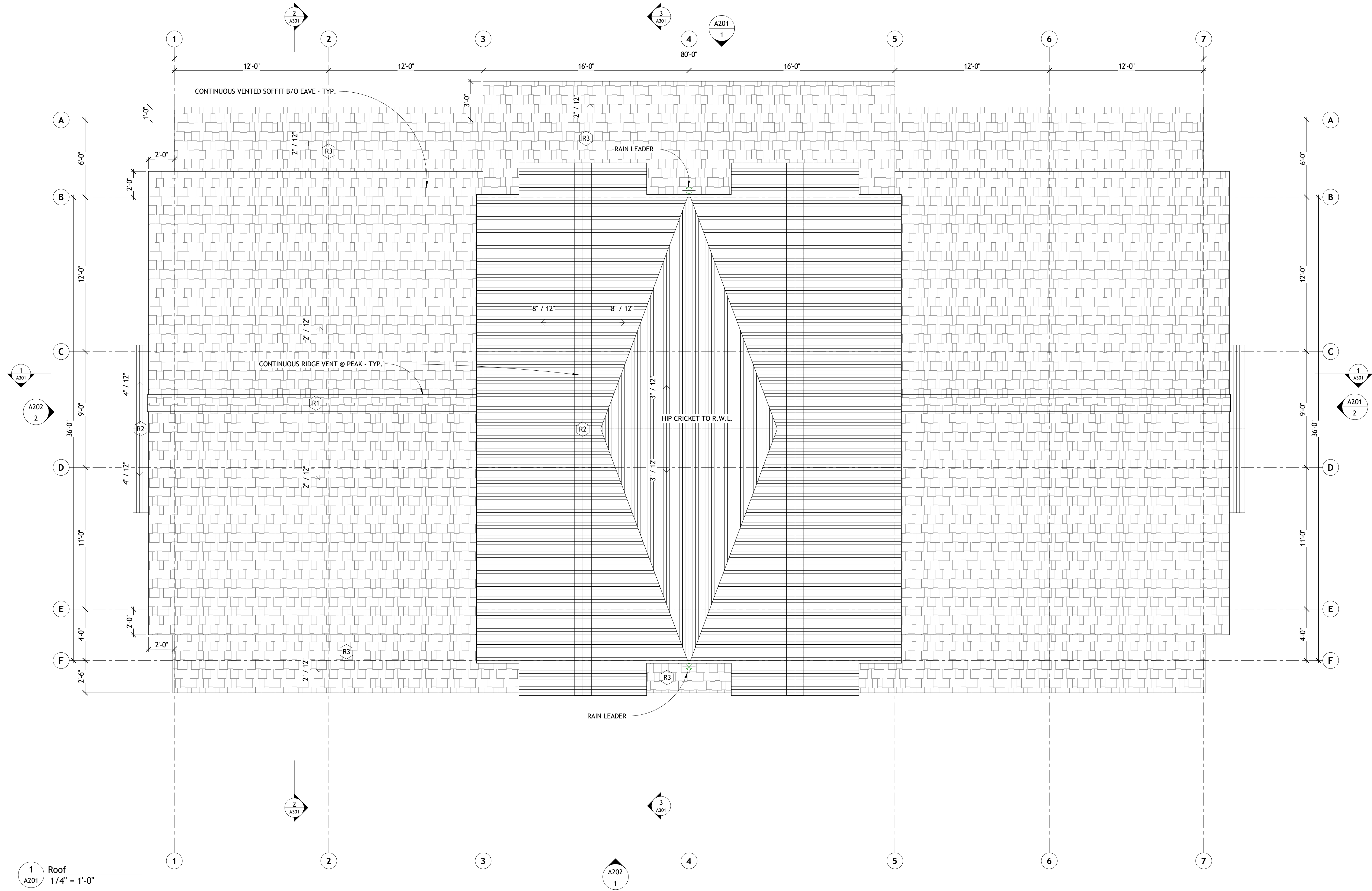
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**OWNER:**  
1264830 BC Ltd.

# Greenwood Village

2677 Greenwood Road  
Nelson, BC



1 Roof  
A201 1/4" = 1'-0"

ROOF SCHEDULE			
Type Mark	Type	Description	Area
R1	Asphalt Shingle Roof	<ul style="list-style-type: none"> <li>Asphalt shingles</li> <li>Waterproof membrane</li> <li>1/2" plywood</li> <li>Wood trusses per eng.</li> <li>Blown cellulose insulation (R50)</li> <li>6-mil polyethylene, taped</li> <li>5/8" Type X gypsum board</li> </ul>	1968 ft <sup>2</sup>
R2	Metal Roof	<ul style="list-style-type: none"> <li>Metal roofing</li> <li>Waterproof membrane</li> <li>1/2" plywood</li> <li>Wood trusses per eng.</li> <li>Blown cellulose insulation (R50)</li> <li>6-mil polyethylene, taped</li> <li>5/8" Type X gypsum board</li> </ul>	2042 ft <sup>2</sup>
R3	Canopy Roof	<ul style="list-style-type: none"> <li>Asphalt shingles</li> <li>Waterproof membrane</li> <li>1/2" plywood</li> <li>2x6 Wood joists, 16" o.c.</li> <li>Vented noncombustible soffit</li> </ul>	912 ft <sup>2</sup>

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1	2021.07.29	ISSUE FOR BUILDING PERMIT

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DRAWN BY: Author  
CHKD BY: Checker

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Roof Plan

# A105

SCALE: 1/4" = 1'-0"

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# Greenwood Village

2677 Greenwood Road  
Nelson, BC



1 Exterior Elevation - North  
A102 1/4" = 1'-0"



2 Exterior Elevation - East  
A102 1/4" = 1'-0"



4 NW View

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Elevations

# A201

SCALE: 1/4" = 1'-0"

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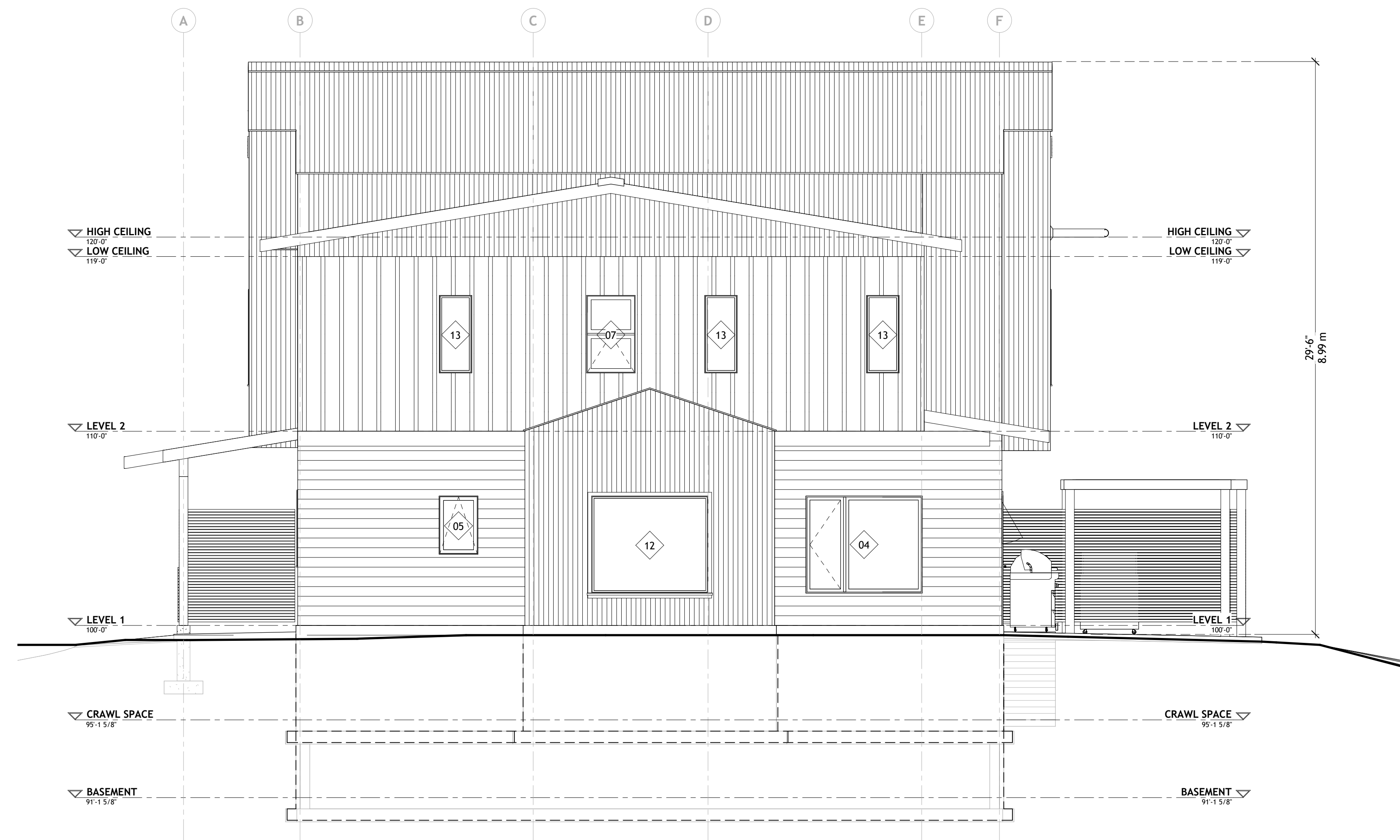
**OWNER:**  
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# Greenwood Village

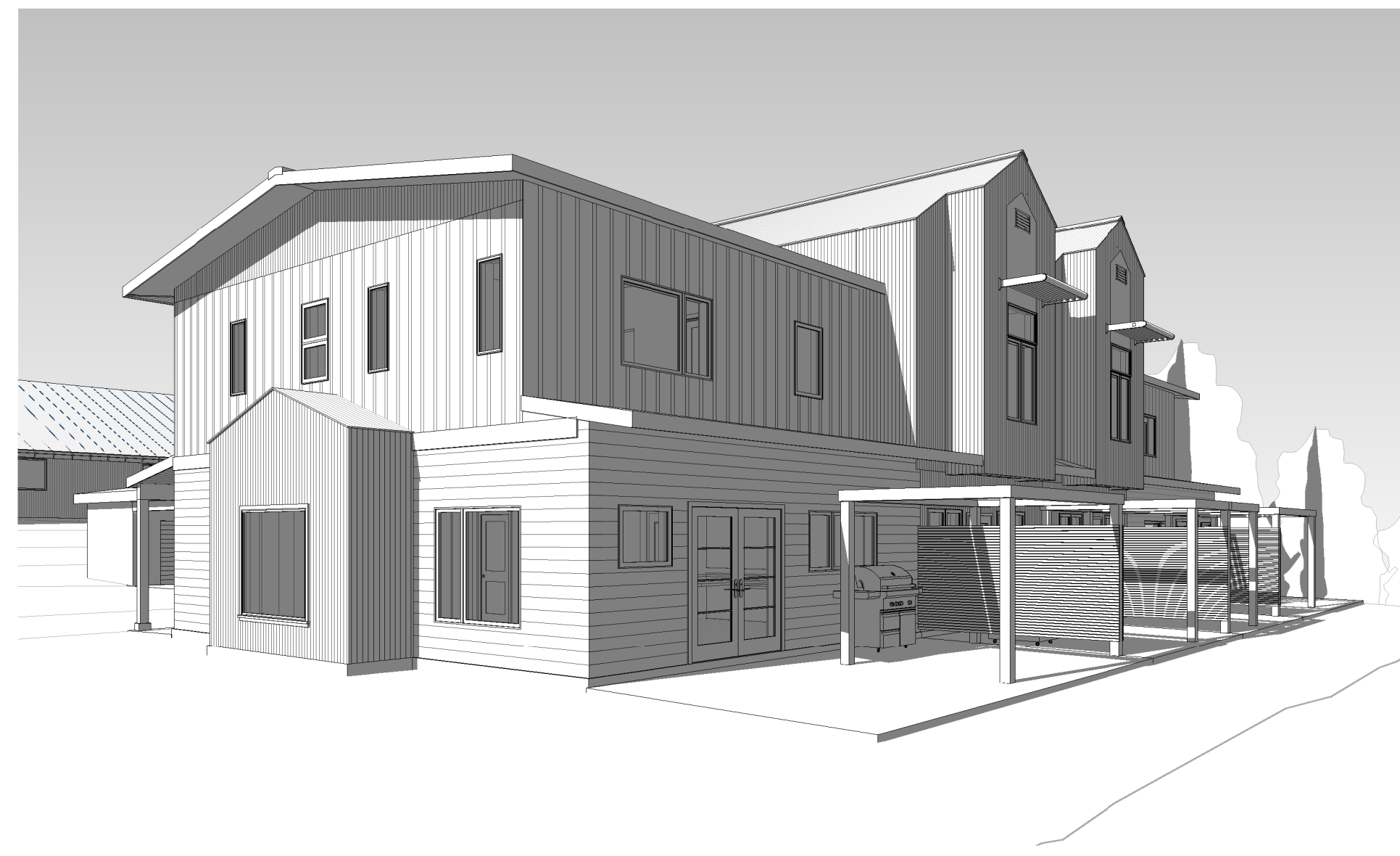
2677 Greenwood Road  
Nelson, BC



1 Exterior Elevation - South  
A102 1/4" = 1'-0"



2 Exterior Elevation - West  
A102 1/4" = 1'-0"



4 SW View

ISSUE	DATE	DESCRIPTION
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Elevations  
**A202**

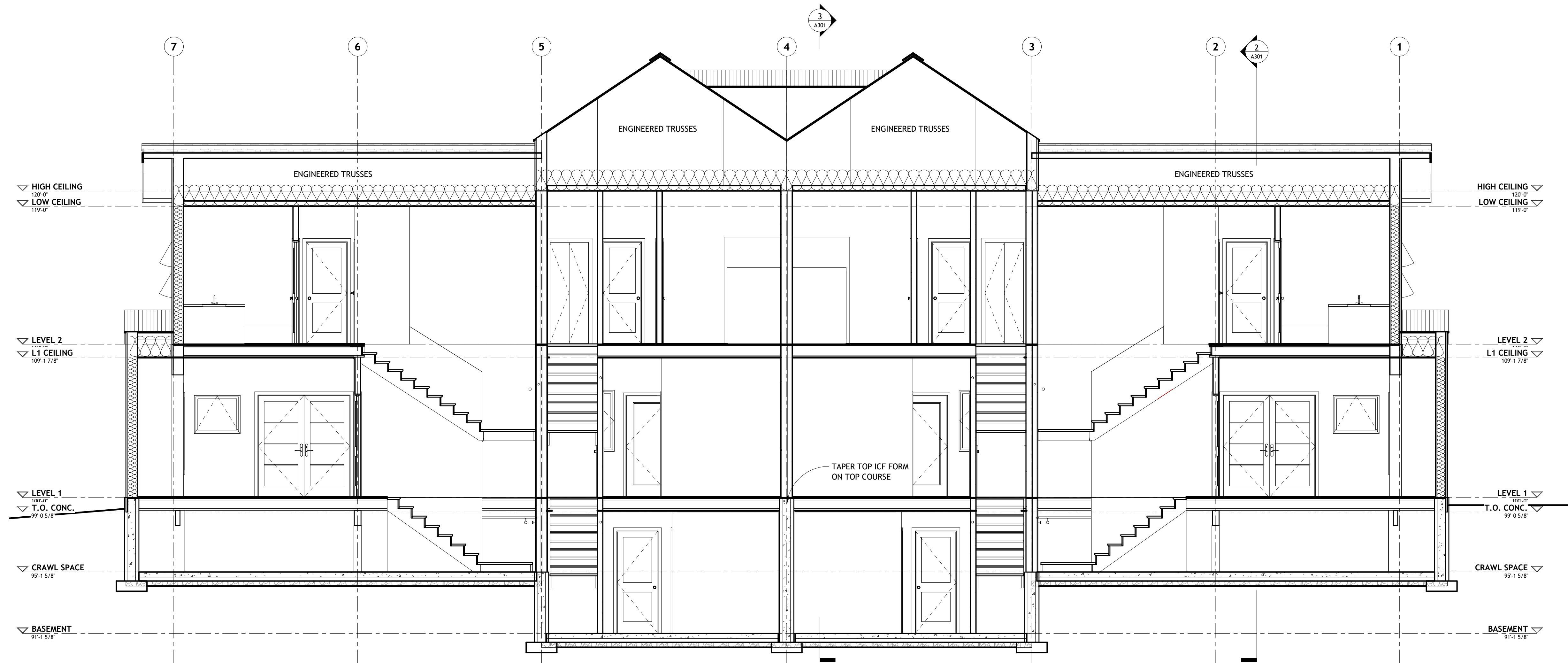
SCALE: 1/4" = 1'-0"

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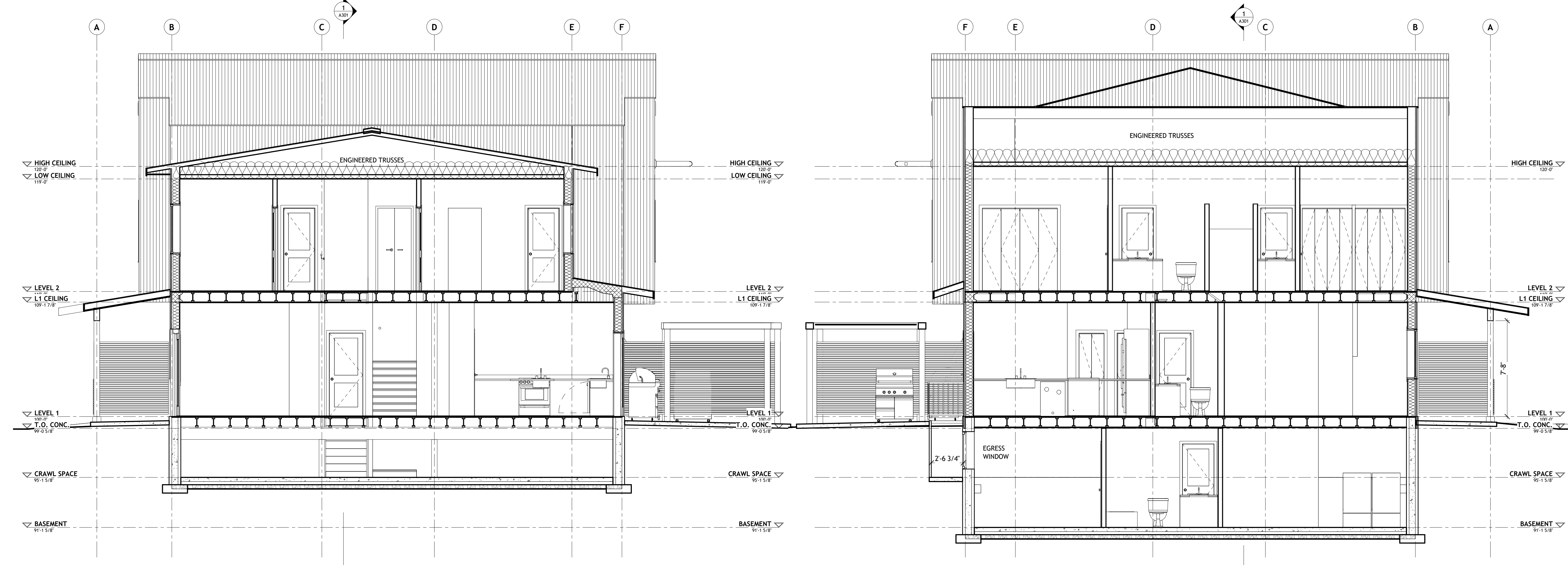
**OWNER:**  
1264830 BC Ltd.

# Greenwood Village

2677 Greenwood Road  
Nelson, BC



1 Building Section - Long 1  
A102 1/4" = 1'-0"



2 Building Section - End Unit  
A102 1/4" = 1'-0"

3 Building Section - Middle Unit Stair  
A102 1/4" = 1'-0"

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PROJECT #: 201123  
DRAWN BY: NR/SK  
CHKD BY: NR/SK  
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Building Sections  
**A301**  
SCALE: 1/4" = 1'-0"

## **20.2 General Development Permit Policies**

1. Development within designated Development Permit Areas will be reviewed by the RDCK in consideration of the objectives identified in this Section. Conditions or restrictions may be imposed on the development accordingly.
2. In accordance with the Local Government Act, the RDCK may require a bond to ensure the completion of landscaping, environmental rehabilitation, or other conditions for which it may be held.

## **20.3 Commercial, Industrial, and High Density Residential Development Permit (CIHDRDP) Area**

### ***Designation:***

The CIHDRDP Area is designated under Section 488(1) (f), (h) and (e) of the Local Government Act to establish objectives for the form and character of commercial, industrial and multi-family residential development, and the promotion of energy and water conservation.

### ***Area:***

The CIHDRDP Area is comprised of all lands designated Commercial, Industrial, Comprehensive Development, Quarry, and High Density Residential on Schedule B.

### ***Justification:***

The intent of the CIHDRDP Area is to encourage high quality design, building, development, and landscaping standards that maintain and enhance rural character, improve energy efficiency, and maintain high water quality in surface water, groundwater and aquifers. General supporting objectives are also provided in Section 8.0 (Economic Development), Section 11.0 (Residential Lands and Housing), Section 12.0 (Commercial Land) and Section 15.0 (Energy and Climate Change).

### ***Objectives:***

The CIHDRDP Area seeks to achieve the following objectives:

1. Guide form and character of new developments.
2. Ensure that new development contributes to creating a high quality public realm and that it fits within the rural context of the region.
3. Conserve water and energy through the promotion of renewable energy sources.

### ***Prohibition:***

Within the CIHDRDP Area construction of, addition to or alteration of a building or other structure must not be started without first obtaining a Development Permit, unless otherwise exempt in this Bylaw.

**Guidelines:**

Development shall be in accordance with the following guidelines:

All Designations

1. Site design should consider:
  - a. impact on farm land;
  - b. the capability of the natural environment to support the proposed development;
  - c. compatibility with adjacent land uses and designations, and the character of the area;
  - d. susceptibility to natural hazards, including but not limited to flooding, slope instability, or wildfire risk; and,
  - e. the size of the property in relation to the proposed activity.
2. Any new development should take into account the overall physical aesthetic, ambience or sense of place, respecting the general scale, quality, eclectic variety of architecture and nature of the streetscape.
3. Creative use of signs is encouraged. Pedestrian scale front lit or neon designs are permitted, while back lit fluorescent and plastic light boxes are discouraged.

Commercial, Industrial, and Quarry

4. The Province is requested to ensure activities involving emission of toxic or irritant material meet the highest standards regarding the protection of groundwater catchment areas, surface water and riparian areas and air-borne industrial pollutants.
5. Wherever possible, new activity should be located in close proximity and with direct access to major roads.
6. Prior to commencement of activity, a landscape buffer adjacent to non-industrial, non-commercial, and non-high density residential designated properties should be included.
7. All activity including parking and storage should be screened and wide buffers should be left along roads and property lines.
8. Can include operational guidelines, including hours of operation, noise restrictions, sign requirements, siting of proposed operations, and other measures as identified to ensure that impacts to adjacent properties are mitigated.

Commercial

9. New buildings should assume parking will be either parallel or diagonal on the street, as well as potential on-site locations. Provincial regulations require a minimum building setback from an existing road right of way of 4.5 m from the property line for new buildings;
10. The maximum building height should be two storeys;
11. New buildings should be similar in size and scale to existing buildings;
12. Residential dwelling units should be located upstairs or to the rear of commercial buildings, based on the servicing capacity and applicable bylaws;

13. Preservation, restoration, and/or infill additions to existing older character buildings is supported;
14. The planting and maintenance of vegetation and the recognition of the pedestrian nature of commercial designations is encouraged;
15. High quality redevelopment and rehabilitation to promote the economic growth of the area as well as respect the integrity of its historical buildings, as well as a pedestrian oriented environment is encouraged.
16. Commercial development that contributes to the economic revitalization of the area, as well as remaining sensitive to the residential component in mixed use buildings is encouraged.

#### High Density Residential

17. Developments should be compatible in scale, form and character with the neighbourhood and consistent with the desired future development plans;
18. Developments that serve to preserve and enhance the special natural, historical or aesthetic features which help define the identity of the neighbourhood are encouraged;
19. Consideration of ease of access for all of local residents, regardless of physical capabilities is encouraged.

#### Comprehensive Development

For purposes of this Plan, Comprehensive Development includes development proposals involving more than one of the following land uses; commercial, industrial, parks and recreation or residential. Prior to the development of land designated Comprehensive Development as shown on Schedule B the RDCK shall require the proponent to prepare a comprehensive development plan in the form of a Development Permit.

20. Development proposals involving a variety of land should be adequately planned and include measures to mitigate impacts on adjacent landowners.
21. When considering a CIHDRDP proposal the RDCK shall have regard to the form and character of the proposed buildings, the siting, size and height of buildings, the design and layout of internal service roads and lots, servicing requirements including water supply and sewage disposal, landscaping and fencing plans that are designed to separate land uses and mitigate impacts on adjacent land uses, signs, exterior lighting, dust suppression, hours of operation, parking and loading requirements and other relevant site development matters.
22. Development proposals involving community water and/or sewer systems should include a feasibility study prepared by a Professional Engineer to confirm that the proposal meets accepted engineering practices, provincial requirements and environmental standards.
23. As required on a site-by-site basis, the Zoning Bylaw should be amended to provide a 'Comprehensive Development Zone' that reflects the policy provisions identified under these Guidelines.



### Sequence of Development

24. Sequence and timing will be considered for phased developments to encourage orderly and cost efficient development, recognizing priorities, market demands and completion sequences. New phases should not be started until previous phases have been completed. The area designated for future phased development should be landscaped, however temporary, and kept clear of debris and construction materials. Construction should follow immediately after any site clearing.

### Energy and Water Conservation

25. Where possible and within the existing block pattern, new buildings should be designed (oriented and sited) to take maximum advantage of passive solar energy.
26. Natural ventilation for buildings should be utilized as much as possible and energy efficient windows should be installed.
27. Green roofs are strongly encouraged to help absorb storm water, reduce heat gain. Intensive green roofs, or "rooftop gardens" will be preferred over extensive green roofs.

### Renewable Energy

28. It is strongly encouraged that all buildings over 1,000 square feet meet at least 10% of their annual combined lighting, space heating and water heating energy demand using one or more of the following renewable energy generation technologies:
  - a. Solar thermal hot water heater;
  - b. Solar photo-voltaic (PV) panels;
  - c. Ground-source heat pump.
  - d. Micro-wind turbine; and
  - e. Geo-thermal
29. Facilities that generate onsite energy or heat for mechanical or industrial processes are encouraged to utilize renewable fuels, such as biomass. Where waste heat is generated as a result of an industrial facility's operations, an appropriate location of the facility should be chosen and design features incorporated that allow the waste heat to be captured and used in an existing or new district heating system.

### ***Exemptions:***

The CIHDRDP Area does not apply to the following:

1. subdivision;
2. temporary buildings and structures such as construction trailers, temporary scaffolding, and buildings and structures permitted by a Temporary Use Permit;
3. construction of, addition to or alteration of a building or structure involving only: interior renovation, repair or maintenance, façade improvement to an area less than 20% of the existing facade, construction of an accessory building, or an addition to principal building less than 100 m<sup>2</sup>;
4. minor alterations that do not alter or affect requirements for parking, landscaping, access, or alter the building footprint, or

Regional District of Central Kootenay  
Electoral Area 'F' Official Community Plan Bylaw No. 2214, 2011

5. replacement of a building that has been destroyed by natural causes, in cases where the replacement building is identical to the original in both form, footprint, and location.
6. replacement of one dwelling unit within a manufactured home park, and/or minor alterations to an existing dwelling unit that are consistent with the intent of this OCP.