



REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 Lakeside Drive, NELSON, BC V1L 5R4
 ph: 250-352-8165 fax:: 250-352-9300 email: rdck@rdck.bc.ca

RDCK Planning File No. Z2105F
Amendment to OCP Bylaw No. 1157, 1996
Amendment to Zoning Bylaw No. 1675, 2004
Date: June 29, 2021

You are requested to comment on the attached Amendment Bylaw(s) for potential effect on your agency's interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO July 29, 2021). If no response is received within that time, it will be assumed that your agency's interests are unaffected. This referral notice has also been provided to adjacent property owners within 100 metres (328 feet) or greater of the subject property for review and comment.

PURPOSE OF THE BYLAW: To rezone the subject property from Tourist Commercial (C3) to Tourist Commercial (C3) site specific to permit the conversion of an existing 125 m² in size (1,335 ft²) building, which was formerly a restaurant to a mini-warehouse/storage use (approximately 12 units).

The subject property (Crescent Beach Resort) is bounded by Kootenay Lake (Open Space) to the west, Highway 3A and Country Residential uses to the east, and also Country Residential uses to the north and south. The closest boundary to Kokanee Creek Provincial Park is approximately 500 metres from the subject site.

LEGAL DESCRIPTION & GENERAL LOCATION:

4596 HIGHWAY 3A, CRESCENT BAY, ELECTORAL AREA 'F'
 LOT 1 PLAN NEP21799 DISTRICT LOT 790 KOOTENAY LAND DISTRICT FOR FORESHORE LEASE LBF 343615 SEE FOLIO 03616.101 (019-052-901)

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING DESIGNATION	OCP DESIGNATION
1.4 hectares (3.36 acres)	N/A	Tourist Commercial (C3)	Commercial (C)

APPLICANT/AGENT:

451283 BC LTD

OTHER INFORMATION: ADVISORY PLANNING COMMISSION PLEASE NOTE:

If your Advisory Planning Commission plans to hold a meeting to discuss this Bylaw Amendment application, please note that the applicants must be provided with an opportunity to attend such meeting, in accordance with Section 461, subsection (8) of the *Local Government Act*, which reads as follows: "If the commission is considering an amendment to a plan or bylaw, or the issue of a permit, the applicant for the amendment or permit is entitled to attend meetings of the commission and be heard."

Please fill out the Response Summary on the back of this form. If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this bylaw.

Stephanie Johnson, PLANNER
REGIONAL DISTRICT OF CENTRAL KOOTENAY

- TRANSPORTATION West Kootenay
 - HABITAT BRANCH
 - FRONT COUNTER BC (FLNRORD)
 - AGRICULTURAL LAND COMMISSION
 - REGIONAL AGROLOGIST
 - ENERGY & MINES
 - MUNICIPAL AFFAIRS & HOUSING
 - INTERIOR HEALTH HBE Team, Nelson
 - KOOTENAY LAKES PARTNERSHIP
 - SCHOOL DISTRICT NO. 20
 - WATER SYSTEM OR IRRIGATION DISTRICT
 - UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)
- REGIONAL DISTRICT OF CENTRAL KOOTENAY
- DIRECTORS FOR:
- A B C D E F G H I J K
- ALTERNATIVE DIRECTORS FOR:
- A B C D E F G H I J K
- APC AREA
- RDCK FIRE SERVICES – DISTRICT CHIEF (BY AREA)
- RDCK EMERGENCY SERVICES
- RDCK BUILDING SERVICES
- RDCK UTILITY SERVICES
- RDCK REGIONAL PARKS

- FIRST NATIONS
- KTUNAXA NATION COUNCIL (ALL REFERRALS)
 - YAQAN NU?KIY (LOWER KOOTENAY)
 - ?AKINK'UM?ASNUQ?I?IT (TOBACCO PLAINS)
 - ?AKISQNUK (COLUMBIA LAKE)
 - ?AQ'AM (ST. MARY'S)
 - OKANAGAN NATION ALLIANCE
 - C'ƏC'ƏWIXA? (UPPER SIMILKAMEEN)
 - K?K'ƏR'MÍWS (LOWER SIMILKAMEEN)
 - SNPÍNTKTN (PENTICTON)
 - STQA?TKWƏ?WT (WEST BANK)
 - SUKNAQÍN (OKANAGAN)
 - SWÍWS (OSOYOOS)
 - SPAXOMƏN (UPPER NICOLA)
 - SHUSWAP NATION TRIBAL COUNCIL
 - KENPÉSQT (SHUSWAP)
 - QW?EWT (LITTLE SHUSWAP)
 - SEXQELTQÍN (ADAMS LAKE)
 - SIMPCW ((SIMPCW)
 - SKEMTSIN (NESKONLITH)
 - SPLATSÍN (SPLATSÍN FIRST NATION)

The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), info@rdck.bc.ca, or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

RESPONSE SUMMARY
PLANNING FILE NO.: Z2105F APPLICANT: 451283 BC LTD

Name: Date:

Agency: Title:

RETURN TO: STEPHANIE JOHNSON RPP MCIP, PLANNER
DEVELOPMENT SERVICES
REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 LAKESIDE DRIVE
NELSON, BC V1L 5R4
plandept@rdck.bc.ca

Air Photo







Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen,



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 maps@rdck.bc.ca

Legend

-  Electoral Areas
-  RDCK Roads
-  Cadastre
-  Civic Address

Map Scale:

1:9,028

Date: June 29, 2021



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

Zoning Overview



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen,



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Zoning Class

- Commercial
- Industrial
- Open Space
- Parks and Recreation
- Residential 1

Legend

- Residential 2
- Residential 3
- Electoral Areas
- RDCK Roads
- Cadastre
- Civic Address

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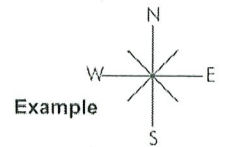
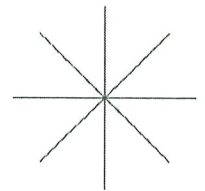
SITE PLAN

Owner's Name: _____

Legal Description: _____

Civic Address: _____

Indicate North Arrow



AN INCOMPLETE SITE PLAN WILL DELAY YOUR PERMIT

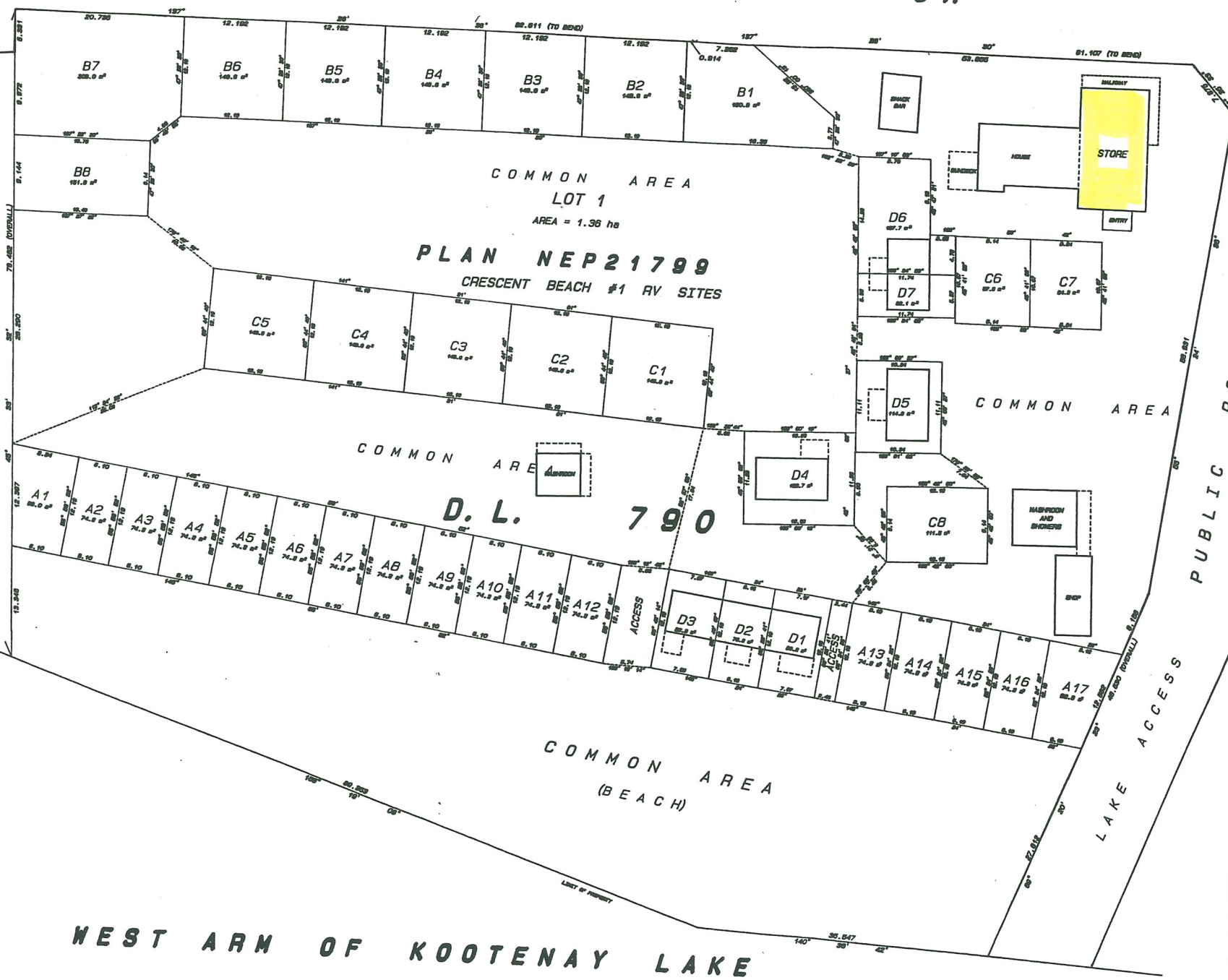
Scale: 1/4" = _____

This application is for purpose of converting an existing Building used as a store/cafe for many years. for the last number of years the Building has not been year round we are unable to get long term commitment from renters The Building is in very good shape therefore our intent is to create Mini storage units We will not need sewer or water in the Building
Thank you for your help.

John Dooley

HIGHWAY NO. 3A

PLAN 1B109



PLAN NEP21799
CRESCENT BEACH #1 RV SITES

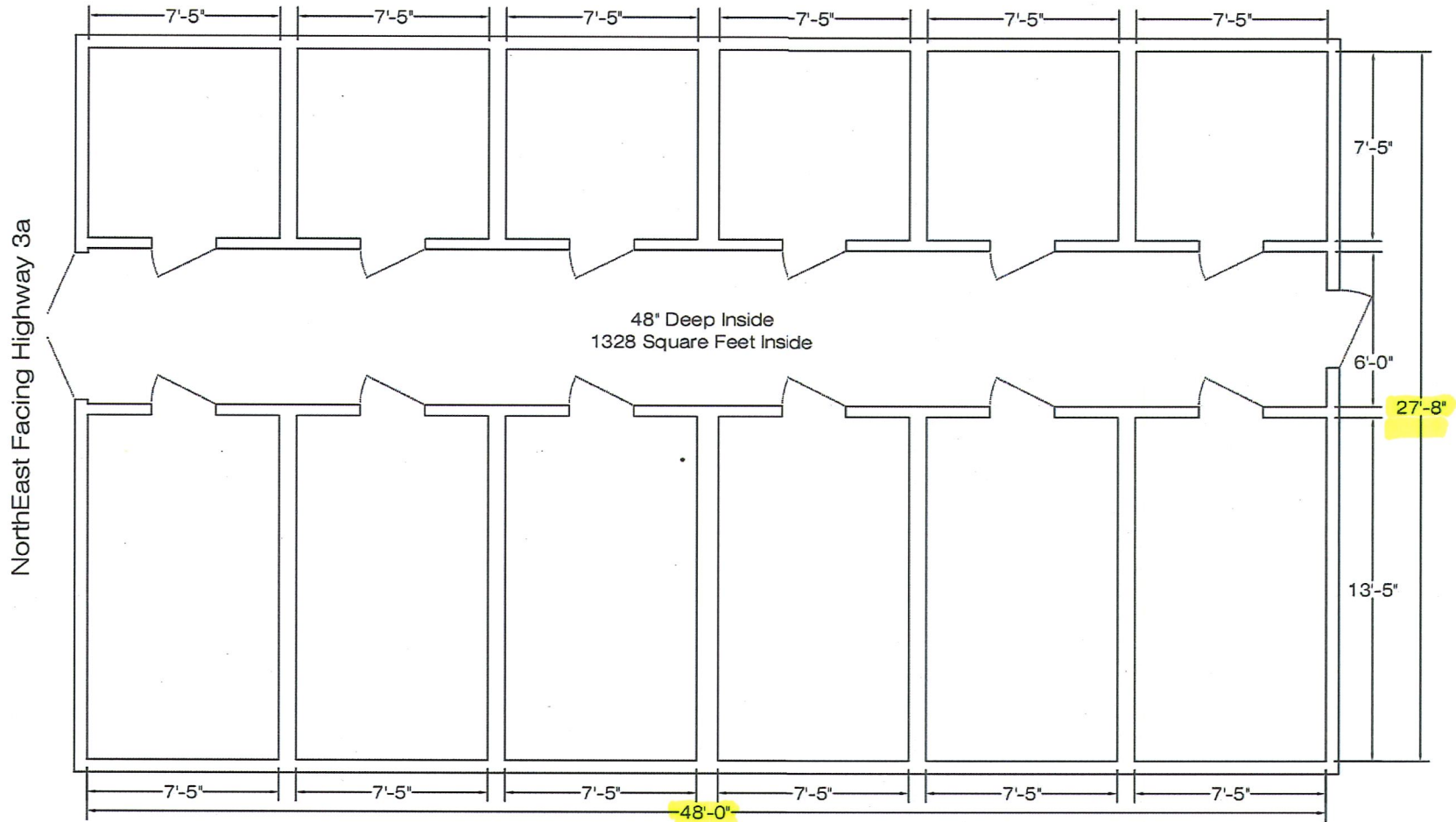
D.L. 790

CRESCENT BEACH #2 RV SITES
LOT 2
PLAN NEP22701

WEST ARM OF KOOTENAY LAKE

451283 B.C. LTD	
CRESCENT BEACH #1 RV SITES LOT 1, PLAN NEP21799, D.L.790, K.D.	
REVISIONS AND ADDITIONS	
DATE	REMARKS
SCALE = 1 : 500	
PREPARED APRIL 23, 1988 BY: RAY JOHNSON AND ASSOCIATES SURVEYORS AND ENGINEERS 1416 JEFFS AVENUE NELSON, B.C. PH. 252-7117 FAX 252-7118 VIL 1A9 FILE #2389	

Crescent Beach Resort
4596 Highway 3a



DIVISION 34 TOURIST COMMERCIAL (C3)

Permitted Uses

3400 Land, buildings and structures in the Tourist Commercial (C3) zone shall be used for the following purposes only:

- Artisan Crafts Production and Sales
- Campgrounds
- Golf Courses
- Horse Riding Arenas and Boarding Stables
- Marinas
- Mixed Use Developments
- Museums
- Personal Service Establishments
- Pubs
- Restaurants
- Service Stations
- Tourist Accommodation
- Zoos
- Accessory Uses to Tourist Accommodation:
 - laundromats
 - curio shops
 - convenience stores
- Accessory Uses:
 - Accessory Buildings and Structures
 - One Dwelling Unit

Development Regulations

3401

1 The minimum site area shall be provided as follows:

	Community Water Supply and Community Sewer System	Community Water Supply Only	On-Site Servicing Only
Hotel, Motel, Lodge and Similar Uses	0.2 hectares (first unit), 200 square metres for each additional sleeping or housekeeping unit	0.4 hectares, 300 square metres for each additional sleeping unit, 400 square metres for each additional housekeeping unit	1.0 hectare (up to 10 units), 600 square metres for each additional sleeping unit, 0.1 hectares for each additional housekeeping unit
Campgrounds	2.0 hectares	2.0 hectares	2.0 hectares

All Other Uses	0.4 hectare	0.4 hectare	1.0 hectare
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For Mixed Use Developments, the minimum site area restrictions identified above apply for each permitted principal use within the Mixed Use Development.

- 2 The maximum site coverage permitted shall be 50 percent of the lot area.
- 3 Landscaping shall comply with the requirements of sections 621 and 622.
- 4 Campgrounds adjacent to properties zoned for residential use must provide screening and buffering as follows:
 - a. Where a proposed campground is located adjacent to a R1, R2, R5, R6, R7, MFR-F or HRI zone, a minimum 7.5 metre wide buffer zone must be established.
 - b. Where a proposed campground is located adjacent to a R3 or R4 zone, a minimum 5.0 metre wide buffer zone must be established.

In each case landscaping within the buffer zone shall comply with the requirements of sections 621 and 622.