



REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 Lakeside Drive, NELSON, BC V1L 5R4
 ph: 250-352-8165 fax: 250-352-9300 email: rdck@rdck.bc.ca

RDCK Planning File No. T2102B
Temporary Use Permit Application
Date: May 27, 2021

You are requested to comment on the attached Temporary Use Permit Application for potential effect on your agency's interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO JUNE 27, 2021). If no response is received within that time, it will be assumed that your agency's interests are unaffected. This referral notice has also been provided to adjacent property owners within 100 metres (328 feet) or greater of the subject property for review and comment.

PRESENT USE AND PURPOSE OF THE PERMIT:

The property is bounded by Resource Area land uses to the north and west, Rural Resources zoned parcels to the east and west, and Country Residential land uses to the south with the subject parcel being located north of the Erickson community. The site is currently undeveloped.

This Temporary Use Permit (TUP) seeks to allow for the construction of an accessory building (160 m² in size) prior to a principal residential use being established onsite. Under the *Electoral Area 'B' Comprehensive Land Use Bylaw No. 2316, 2013* "an accessory building may be constructed on a lot prior to construction of a dwelling subject to the maximum size of 75 square metres." In addition, staff outline that the applicant will also be constructing one accessory building less than 75 m² prior to constructing a residence.

LEGAL DESCRIPTION & GENERAL LOCATION:

PLAN NEPX30 DISTRICT LOT 4592 KOOTENAY LAND DISTRICT SUBSIDY LOT 17, PART N 1/2 OF SE 1/4 (PID: 016-332-822)
 1148 36 Avenue North, Erickson BC

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING DESIGNATION	OCP DESIGNATION
48.6 hectares (120 acres)	N/A	Rural Resource (R4)	Rural Residential (RR)

APPLICANT/AGENT:

Kelly Fyfe

ADVISORY PLANNING COMMISSION PLEASE NOTE:

If your Advisory Planning Commission plans to hold a meeting to discuss this TUP application, please note that the applicants must be provided with an opportunity to attend such meeting, in accordance with Section 461, subsection (8) of the *Local Government Act*, which reads as follows: "If the commission is considering an amendment to a plan or bylaw, or the issue of a permit, the applicant for the amendment or permit is entitled to attend meetings of the commission and be heard."

Please fill out the Response Summary on the back of this form. If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this bylaw.

Submitted electronically

STEPHANIE JOHNSON, PLANNER
REGIONAL DISTRICT OF CENTRAL KOOTENAY

TRANSPORTATION <input checked="" type="checkbox"/> West Kootenay District Office, Nelson <input checked="" type="checkbox"/> HABITAT BRANCH	REGIONAL DISTRICT OF CENTRAL KOOTENAY DIRECTORS FOR: <input type="checkbox"/> A <input checked="" type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H <input type="checkbox"/> I <input type="checkbox"/> J <input type="checkbox"/> K
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FRONT COUNTER BC (FLNRORD)

- Nelson
- Cranbrook
- AGRICULTURAL LAND COMMISSION
- REGIONAL AGROLOGIST
- ENERGY & MINES
- MUNICIPAL AFFAIRS & HOUSING
- INTERIOR HEALTH
- HBE Team, Nelson
- KOOTENAY LAKES PARTNERSHIP (FORESHORE DEVELOPMENT PERMITS)
- SCHOOL DISTRICT NO.
- WATER SYSTEM OR IRRIGATION DISTRICT
- UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)

ALTERNATIVE DIRECTORS FOR:

- A B C D E F G H I J K

APC AREA B

RDCK FIRE SERVICES

District Chief Nora Hannon – Kaslo, Balfour, Harrop, North Shore & Ymir

District Chief George Hamm – Pass Creek, Ootischenia, Robson, Tarry's & Beasley

District Chief Gord Ihlen – Crescent Valley, Passmore, Winlaw, Slocan & Blewett

RDCK EMERGENCY SERVICES

RDCK BUILDING SERVICES

RDCK UTILITY SERVICES

RDCK RESOURCE RECOVERY

RDCK REGIONAL PARKS

INSERT COMMENTS ON REVERSE . . .

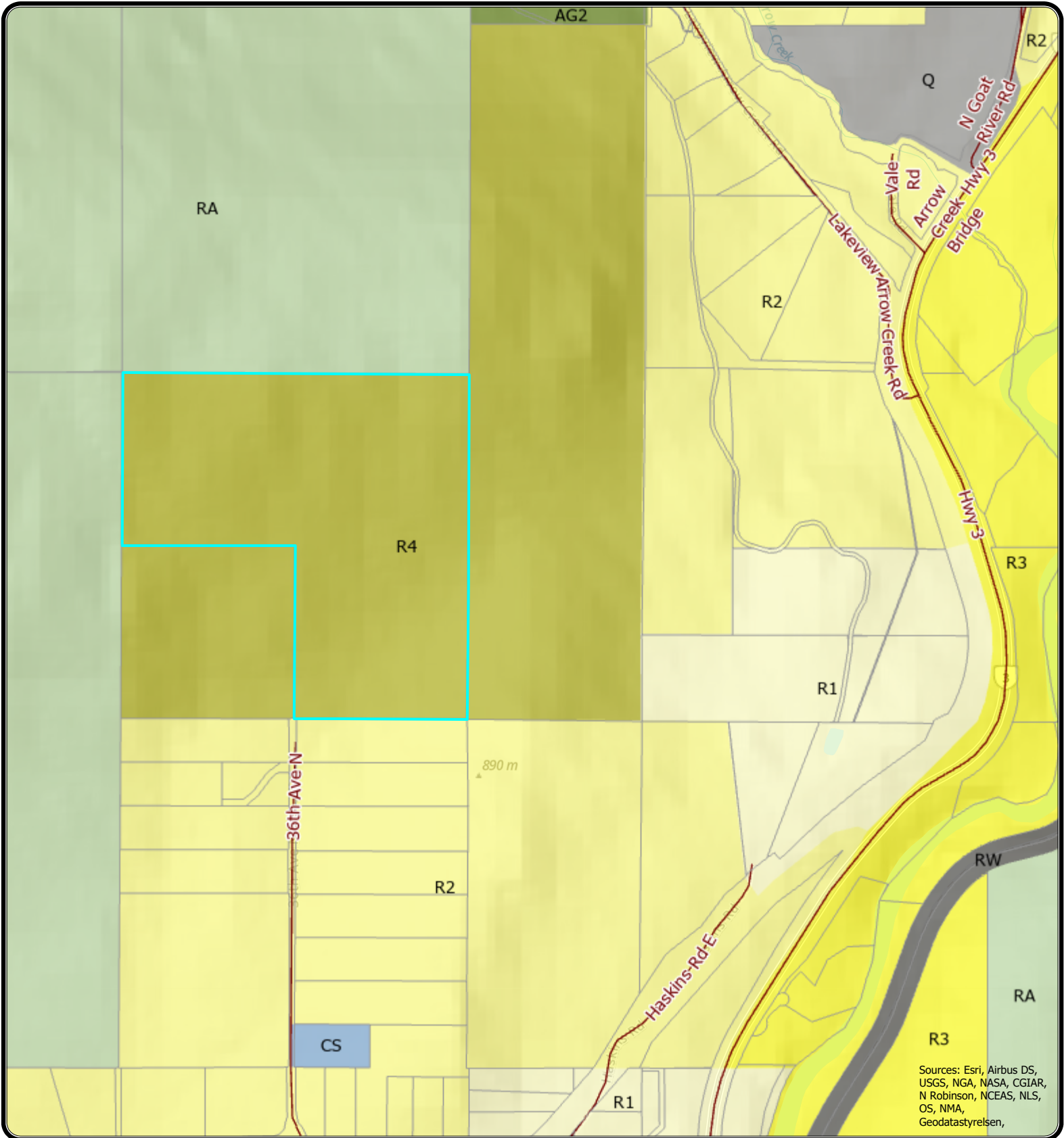
The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), info@rdck.bc.ca, or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

RESPONSE SUMMARY
PLANNING FILE NO.: T2102B APPLICANT: KELLY FYFE

Name: Date:

Agency: Title:

RETURN TO: STEPHANIE JOHNSON, PLANNER
DEVELOPMENT SERVICES
REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 LAKESIDE DRIVE
NELSON, BC V1L 5R4
plandept@rdck.bc.ca



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen,



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 Phone: 1-800-268-7325 www.rdck.bc.ca
 maps@rdck.bc.ca

Legend	
Agriculture	Residential 3
Community Services	Residential 4
Quarry	Resource Area
Railway	Electoral Areas
Residential 1	RDCK Roads
Residential 2	Cadastre

Map Scale:

1:18,056

Date: May 27, 2021



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.






Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen,



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Legend

-  Electoral Areas
-  RDCK Roads
-  Cadastre

Map Scale:

1:18,056

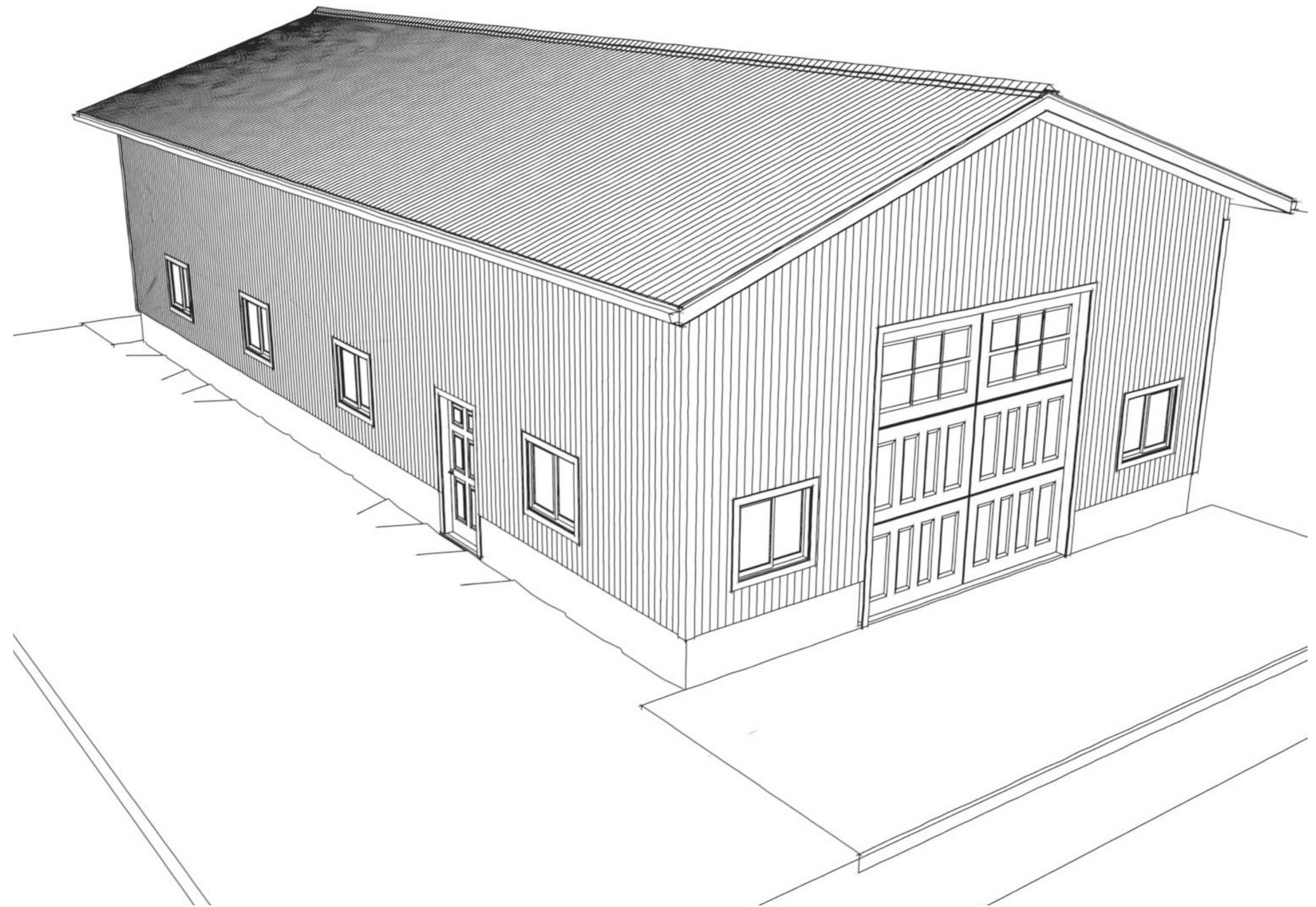
Date: May 27, 2021



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4	A1.4	FOUNDATION PLAN
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SHOP
 KELLY FYFE
 1148 36 AVENUE NORTH CRESTON B.C.
 FOLIO 786.04628.000 PID 016-332-822

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
**PLOT
PLAN**

PROJECT DESCRIPTION:
SHOP
KELLY FYFE
1148 36 AVENUE NORTH CRESTON B.C.
FOLIO T86.04628.000 PID 016-332-822

DRAWINGS PROVIDED BY:
RIDGELINE DRAFTING & DESIGN
210 21ST AVENUE NORTH
CRESTON B.C. V0B1G5
PH:250-428-8780 C:250-431-8653 E-MAIL: vpugh@ielus.net
<http://www.ridgeline-designs.com>

DATE

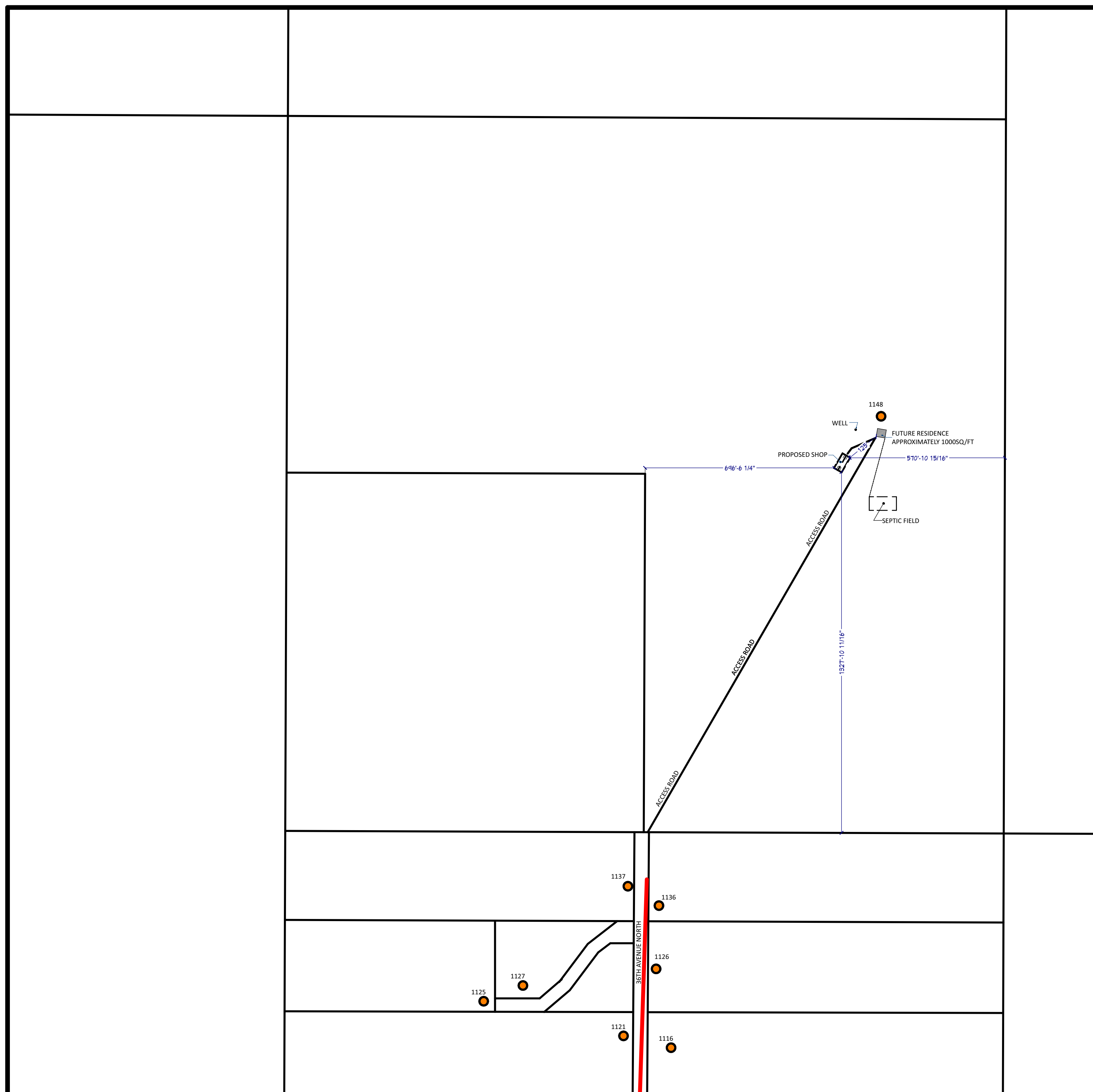
4/12/2021

SCALE

1cm - 30m

SHEET

A-3



HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
**FOUNDATION
PLAN**

PROJECT DESCRIPTION:
SHOP
KELLY FYFE
1148 36 AVENUE NORTH CRESTON B.C.
FOLIO T86.04628.000 PID 016-332-822

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SCALE
1/4" = 1'

SHEET

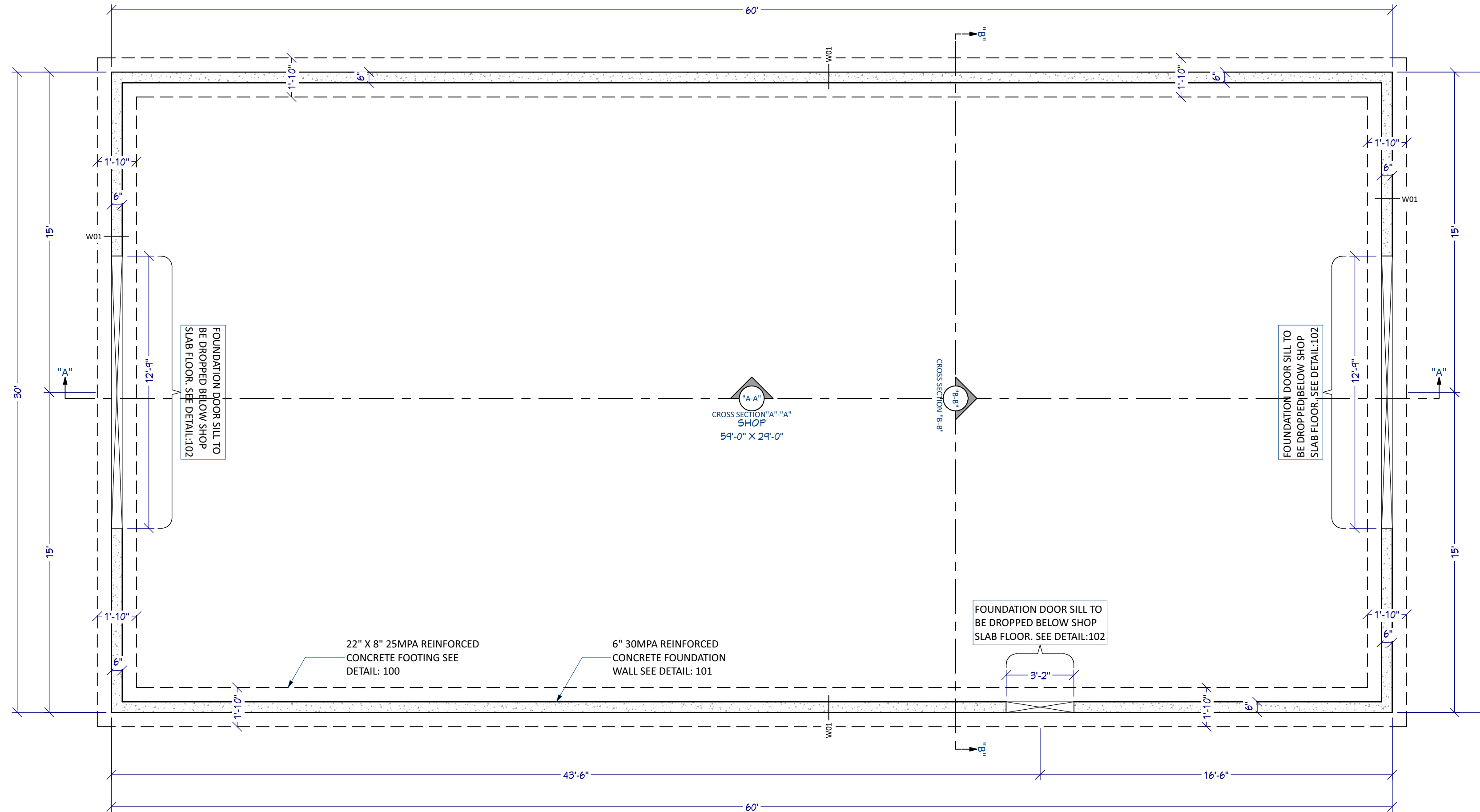
A-4

WALL SYMBOLS

6" CONCRETE FOUNDATION WALL _____

WALL ASSEMBLIES

W01- SUPER SEAL FOUNDATION MEMBRANE (OPTIONAL)
2 COATS APPROVED FOUNDATION COATING
6" 30MPA REINFORCED CONCRETE WALL
COMPACTED SOIL
UNDISTURBED SOIL



HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

NO	DESCRIPTION	DATE

SHEET TITLE:
**MAIN FLOOR
FRAMING**

PROJECT DESCRIPTION:
SHOP
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SCALE
1/4" = 1'

SHEET

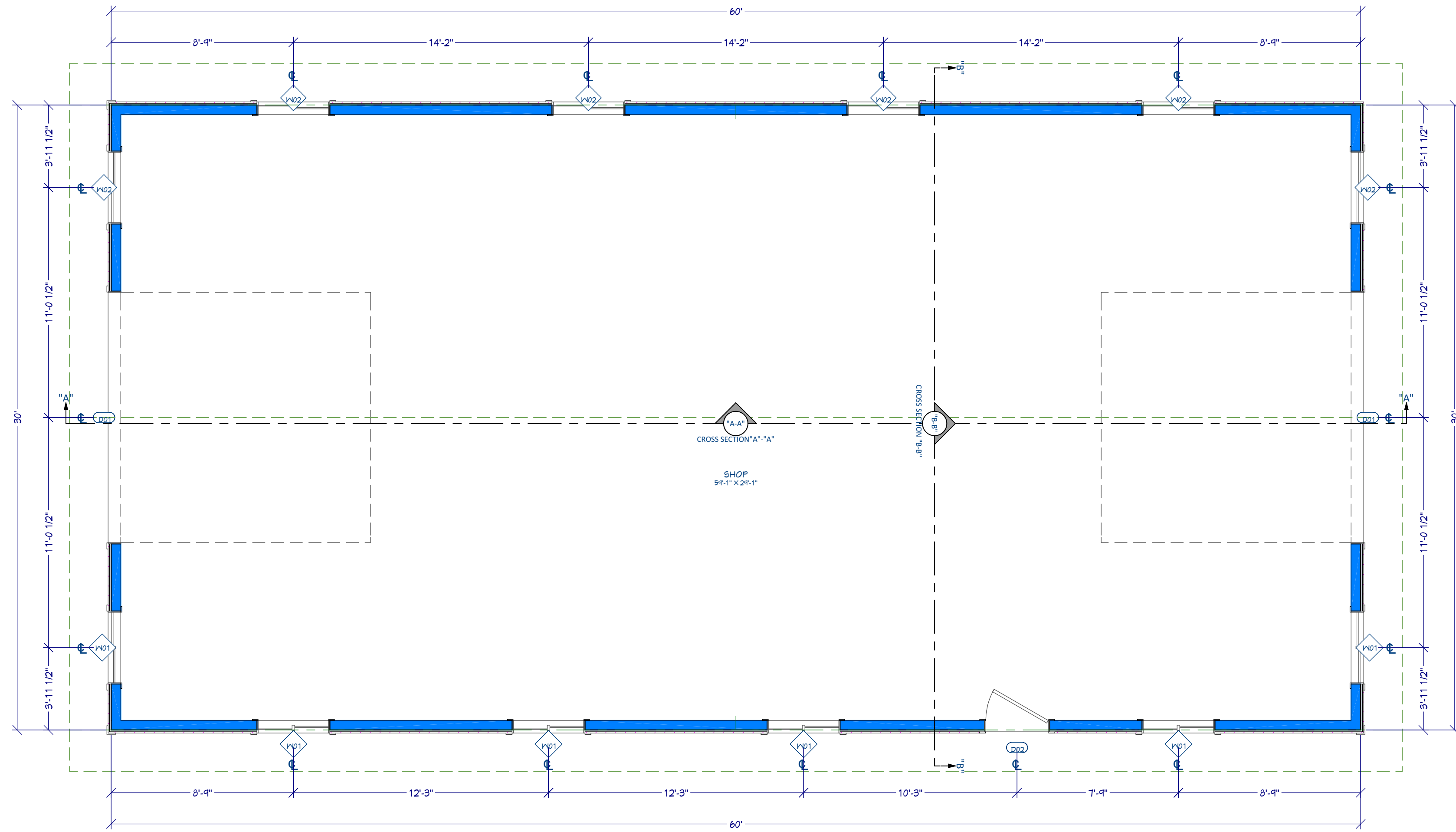
A-5

WALL SYMBOLS

2X6 EXTERIOR WALL _____

WALL ASSEMBLIES

W02- WESTFORM 29GA DURACLAD METAL SIDING COLOR: TBD
1" X 4" ROUGH D-FIR/LARCH WALL STRAPPING @ 24"OC
2 X 6 #2&BTR SPF STUDS @ 16" OC
ROXUL R24 BATT INSULATION
6MIL CGSB VAPOR BARRIER INSTALL WITH ACOUSTICAL CAULKING



HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
ROOF

PROJECT DESCRIPTION:
SHOP
KELLY FYFE
1148 36 AVENUE NORTH CRESTON B.C.
FOLIO T86.04628.000 PID 016-332-822

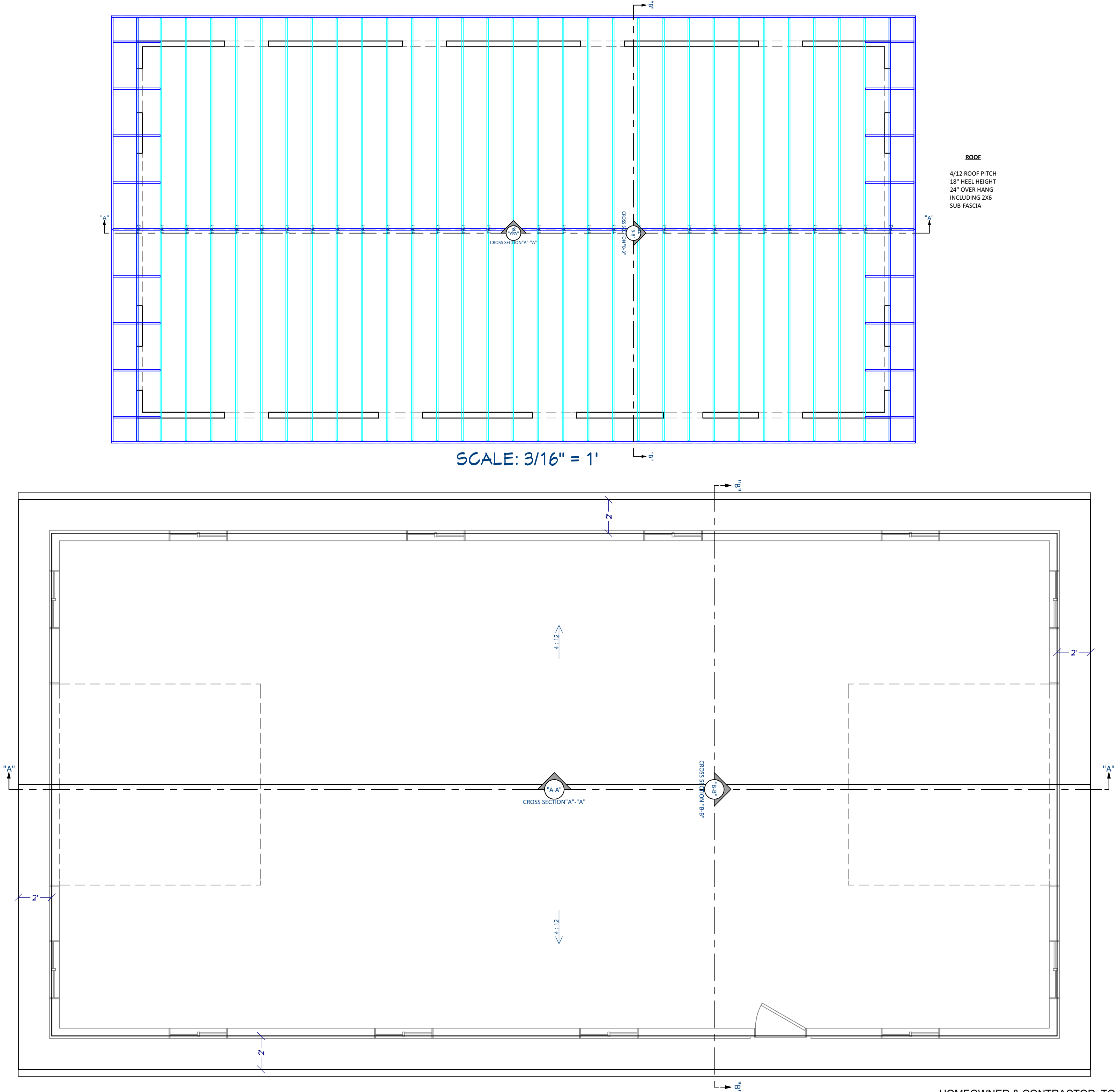
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SCALE
1/4" - 1'

SHEET

A-6



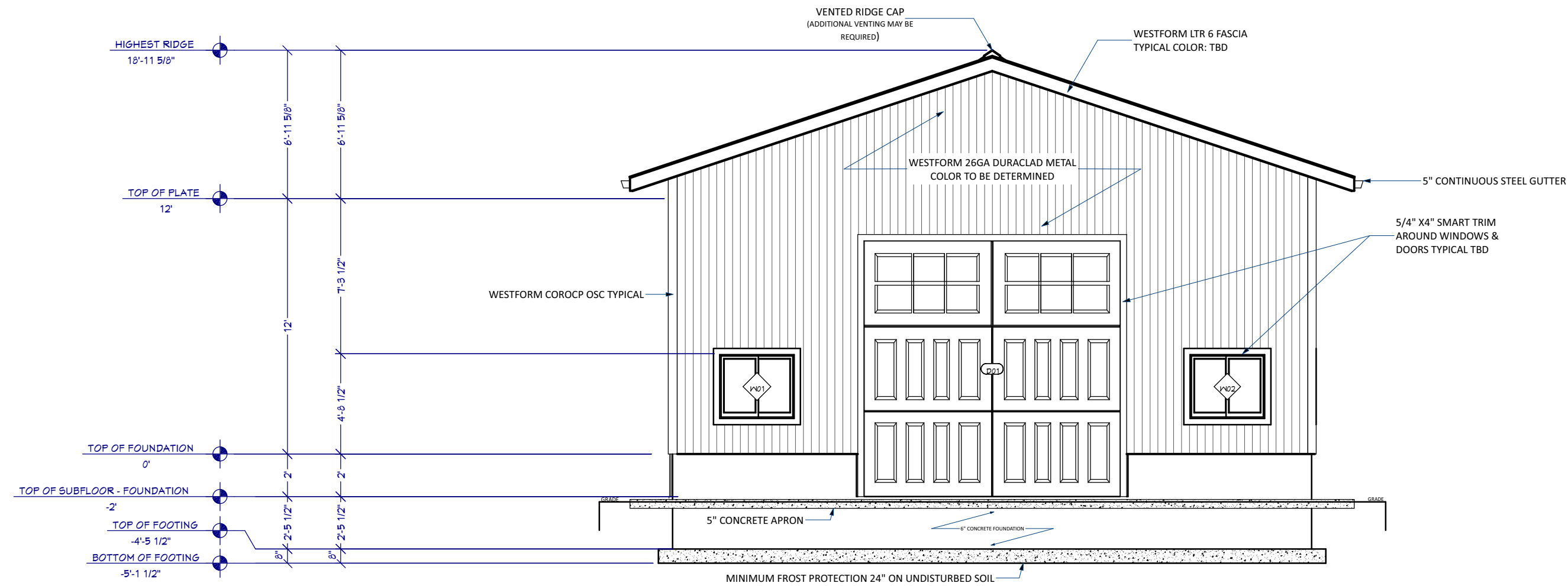
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NORTH & EAST ELEVATIONS

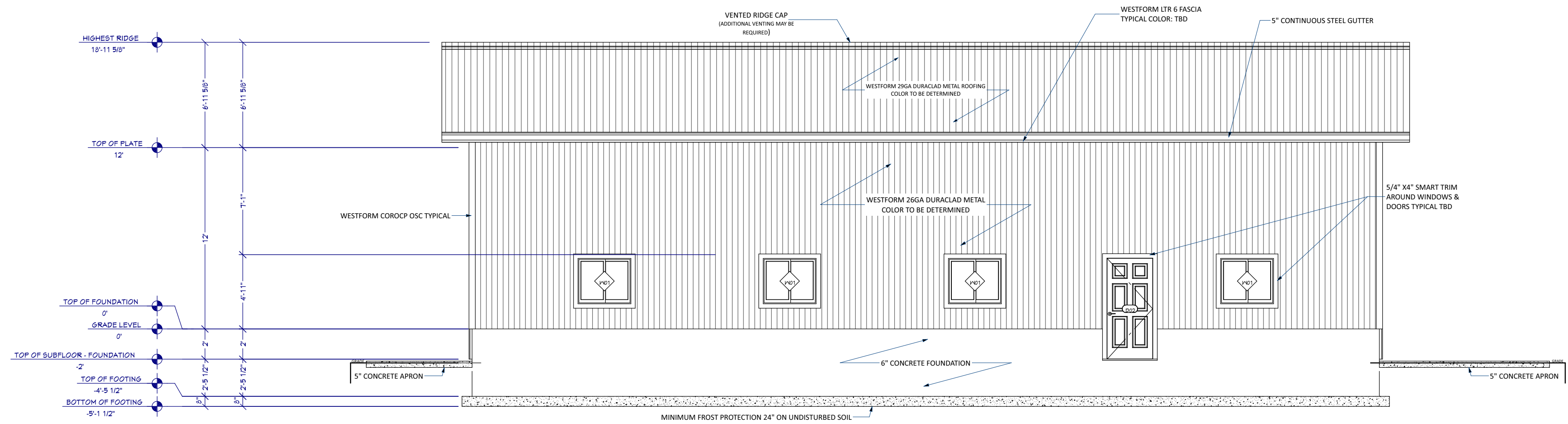
PROJECT DESCRIPTION:
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DATE
4/12/2021
SCALE
1/4" = 1'
SHEET
A-7



North Elevation



East Elevation

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
**SOUTH AND
WEST
ELEVATIONS**

PROJECT DESCRIPTION:
SHOP
KELLY FYFE
1148 36 AVENUE NORTH CRESTON B.C.
FOLIO T86.04628.000 PID 016-332-822

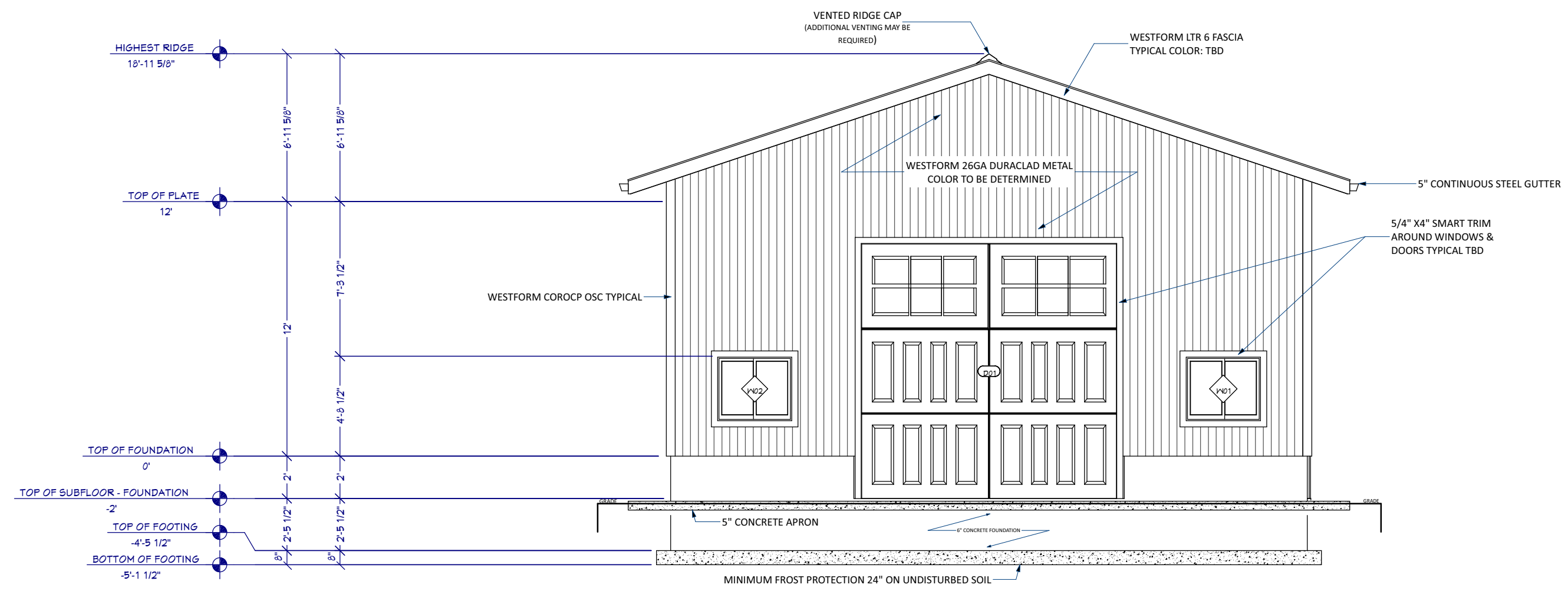
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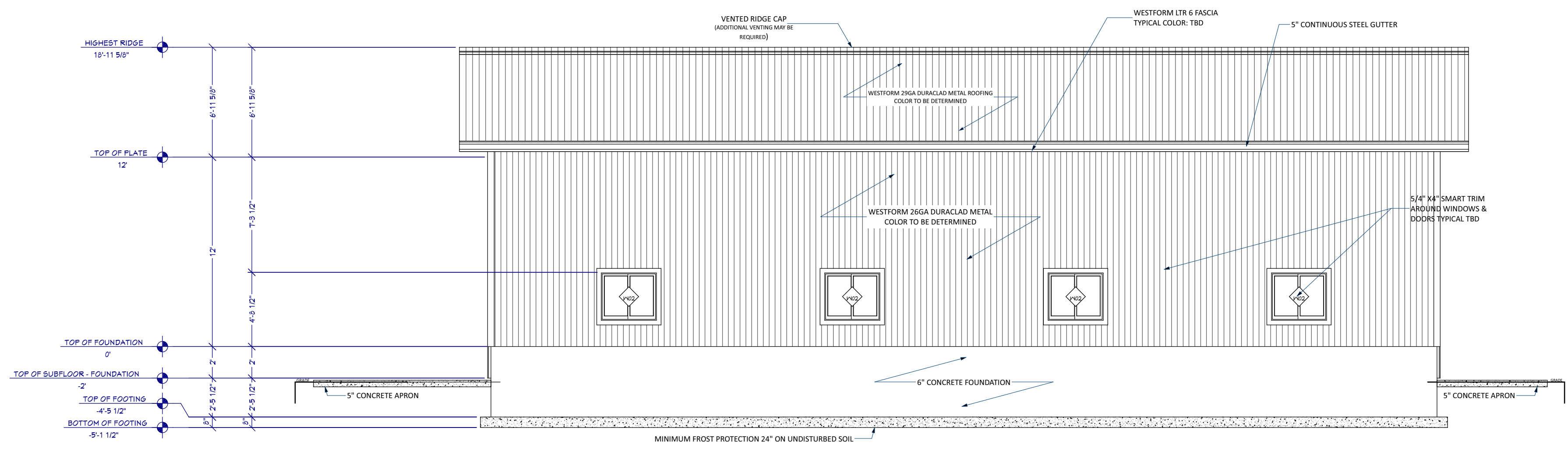
SCALE
1/4" = 1'

SHEET

A-8

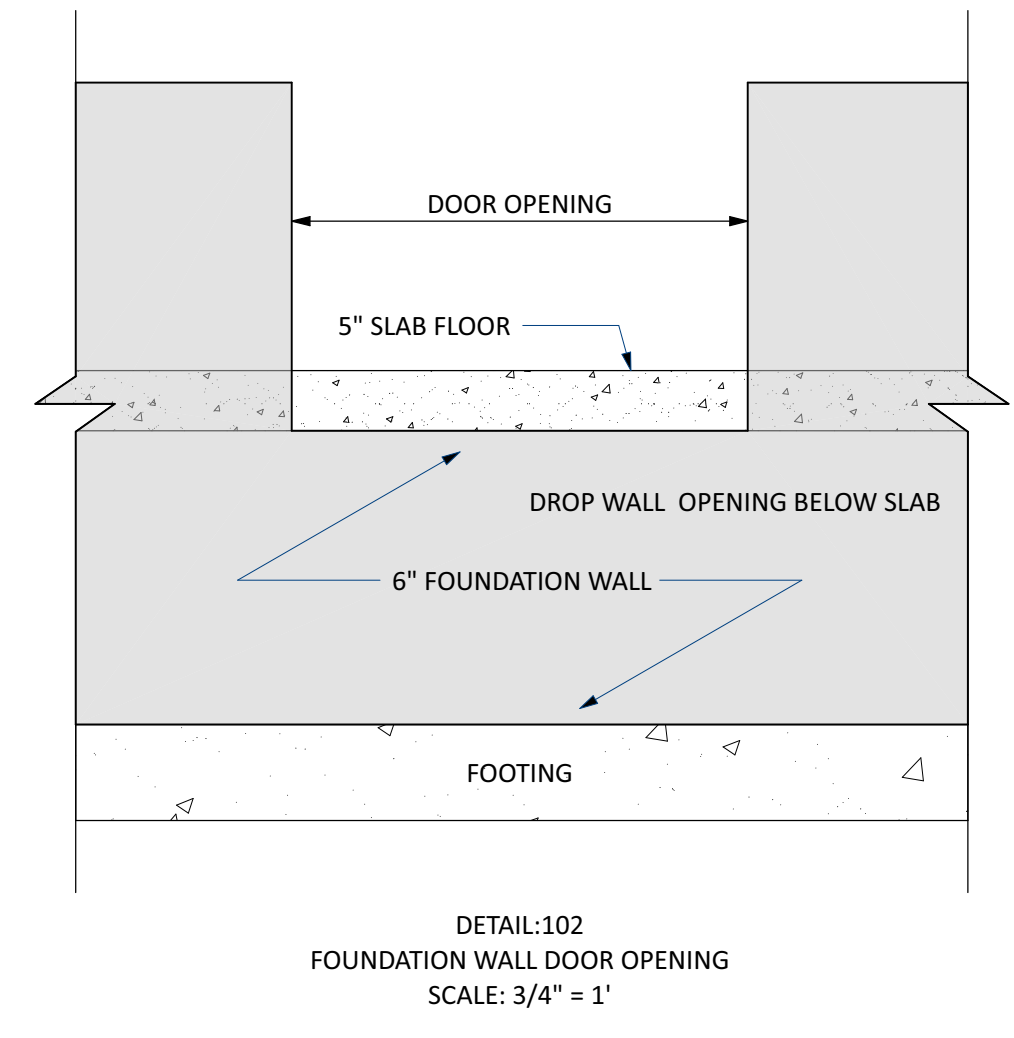
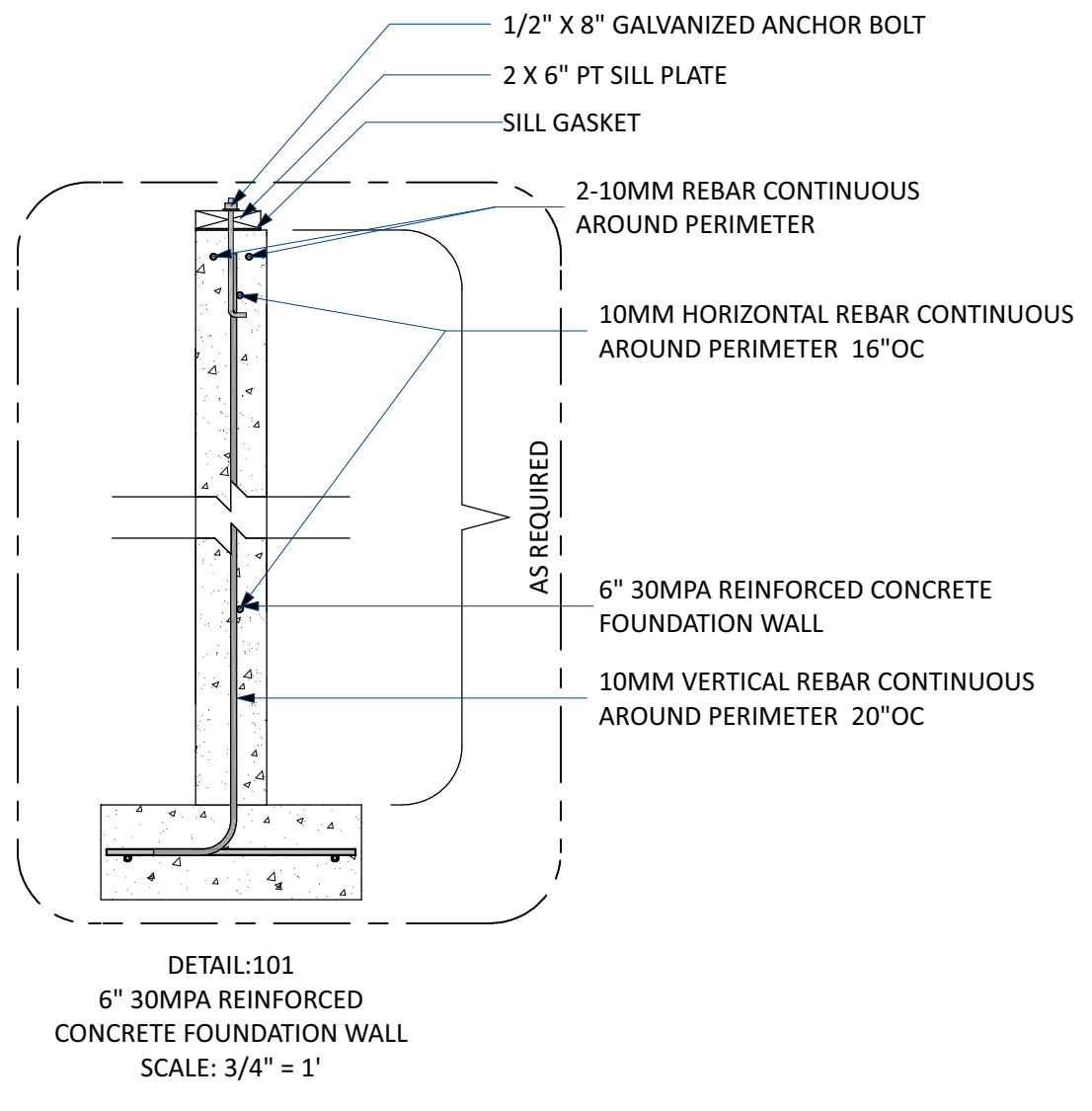
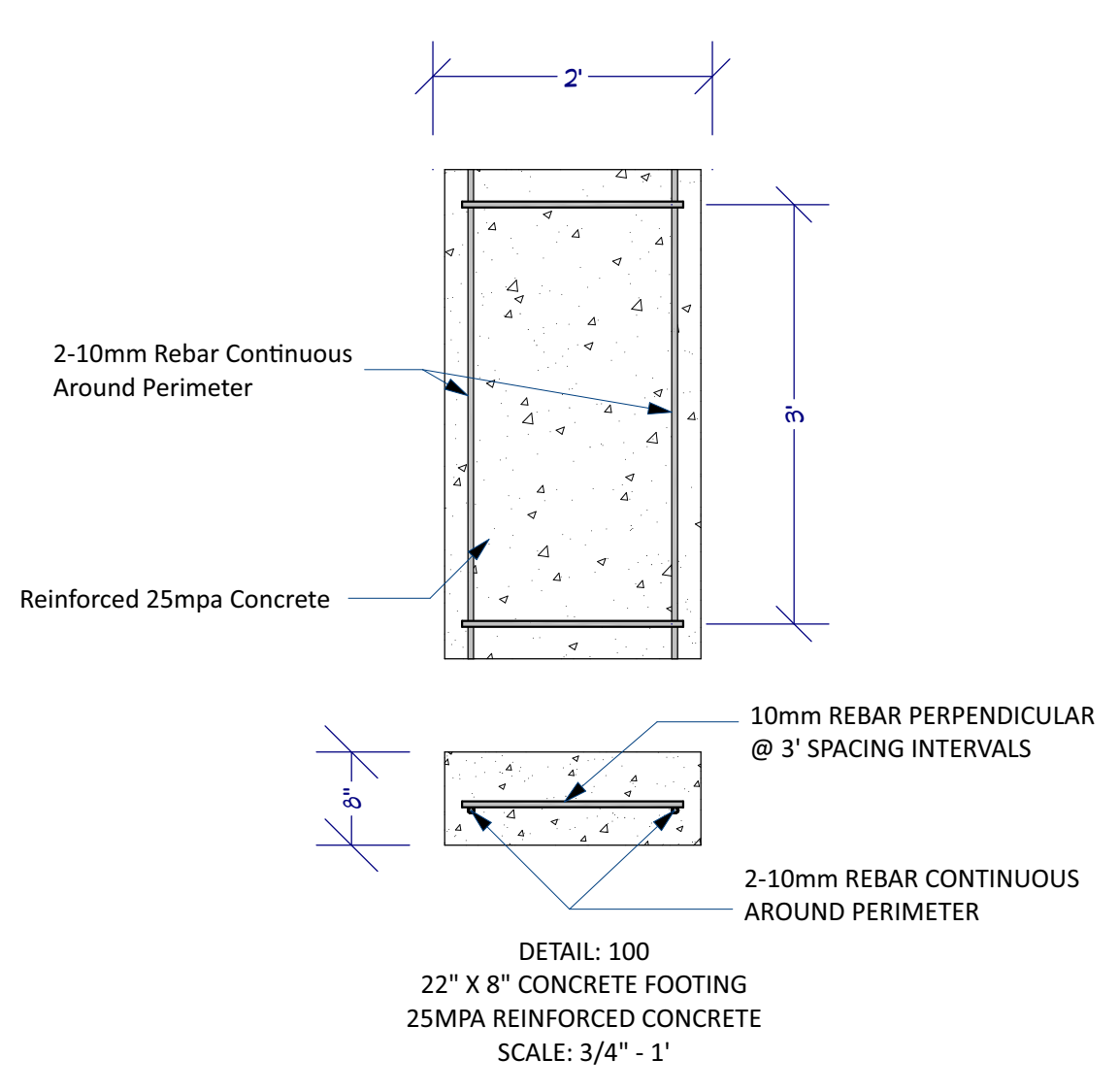


South Elevation



West Elevation

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.



NO	DESCRIPTION	BY	DATE

SHEET TITLE:
DETAILS

PROJECT DESCRIPTION:
SHOP
KELLY FYFE
1148 36 AVENUE NORTH CRESTON B.C.
FOLIO T86.04628.000 PID 016-332-822

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4/12/2021

SCALE
AS INDICATED

SHEET

A-9

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
**CROSS
SECTION
"A-A" & "B-B"**

PROJECT DESCRIPTION:
**SHOP
KELLY FYFE
1148 36 AVENUE NORTH CRESTON B.C.
FOLIO T86.04628.000 PID 016-332-822**

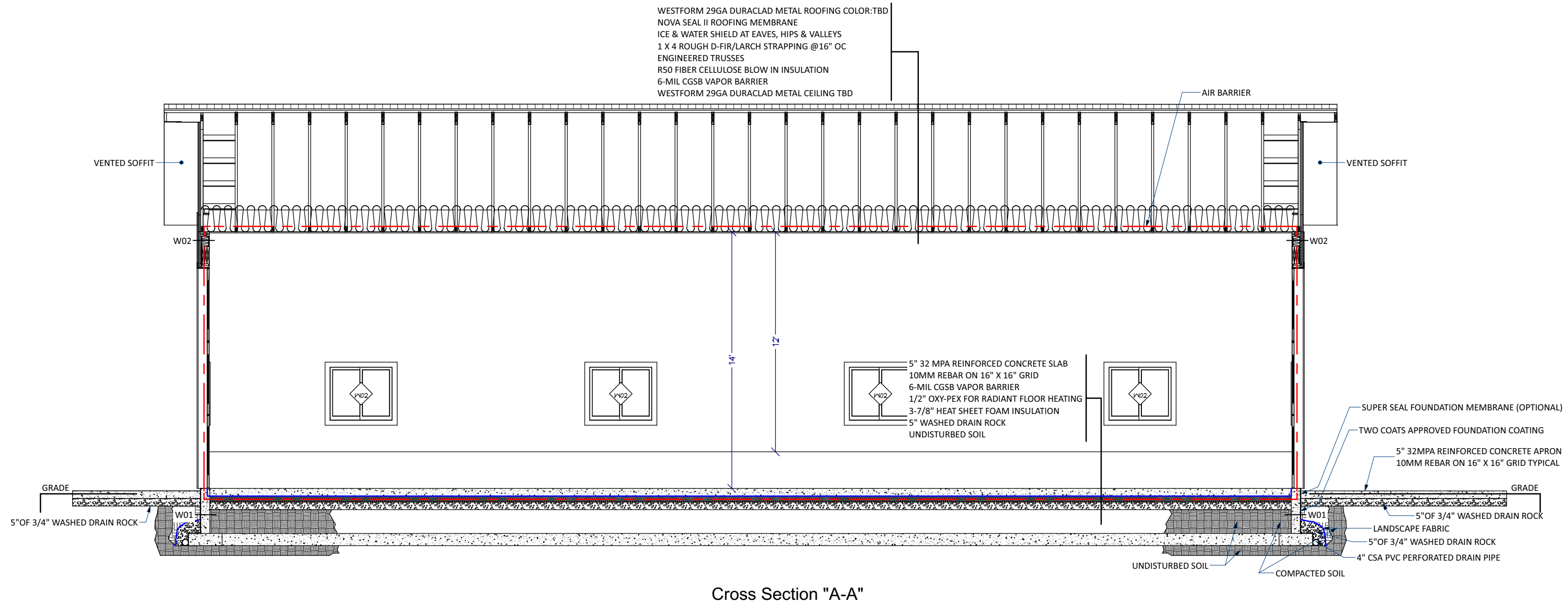
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DATE
4/12/2021

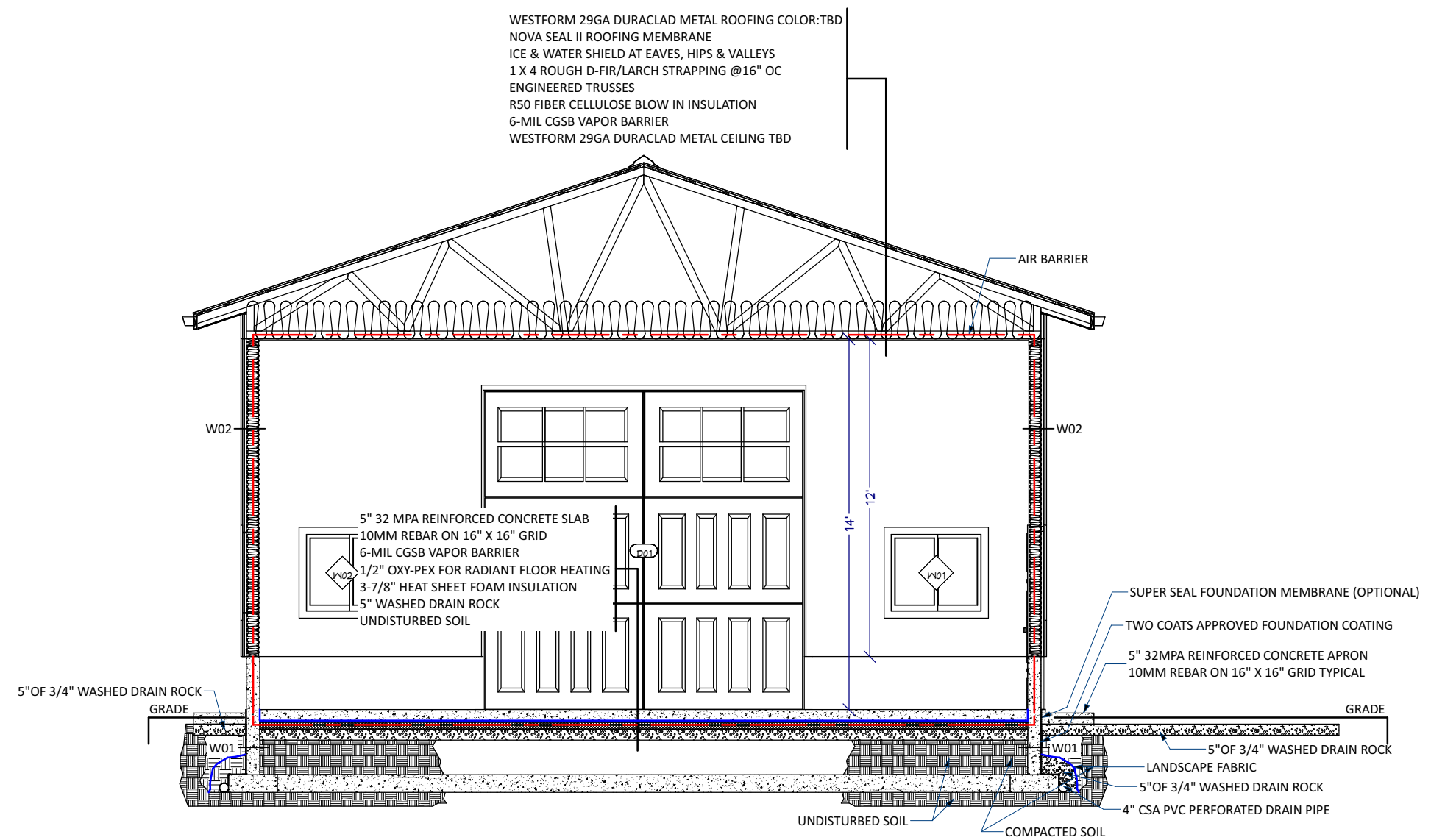
SCALE
3/16" - 1'

SHEET

A-10



Cross Section "A-A"



Elevation 1

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
DOOR AND WINDOW SCHEDULES

PROJECT DESCRIPTION:
SHOP
KELLY FYFE
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FOLIO T86.04628.000 PID 016-332-822

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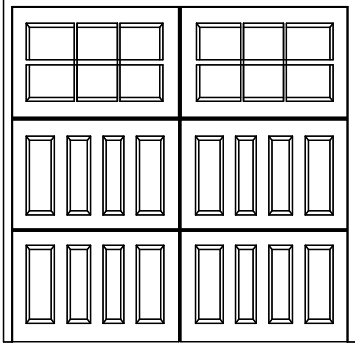
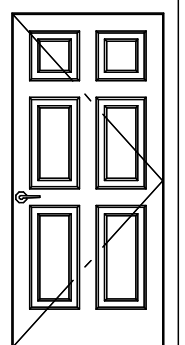
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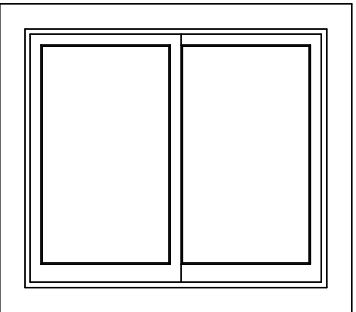
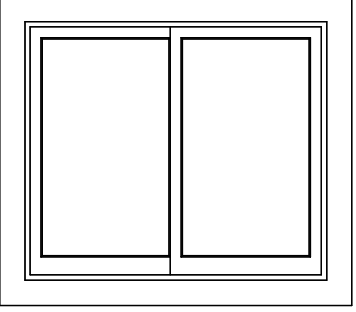
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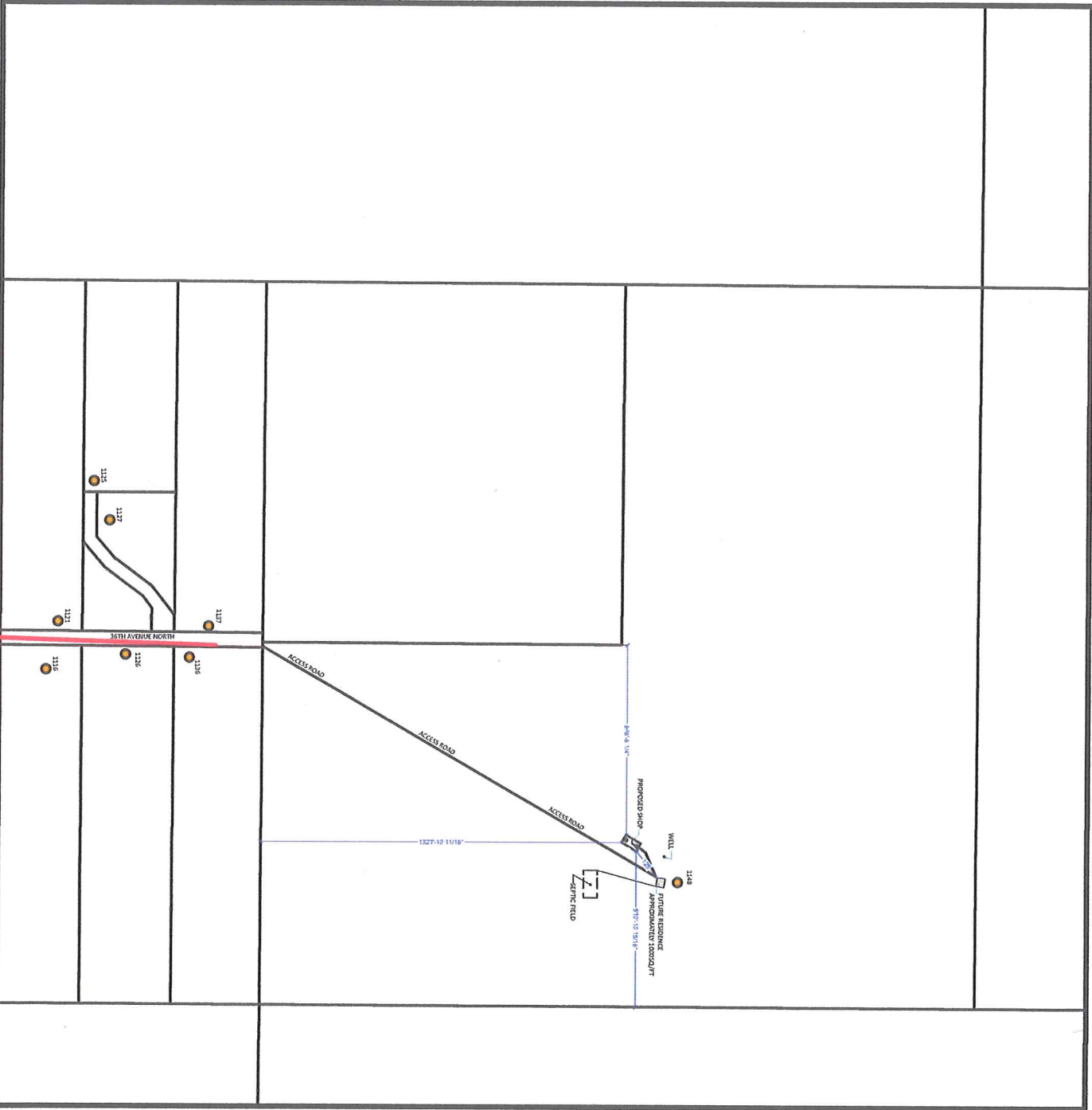
SHEET

A-11

DOOR SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	ROOM NAME	FLOOR	SIZE	R/O	DESCRIPTION
	D01	120120	2	SHOP	1	120120	147"X147"	GARAGE-GARAGE DOOR CHD05
	D02	3068	1	SHOP	1	3068 R EX	38"X83"	EXT. HINGED-DOOR P09

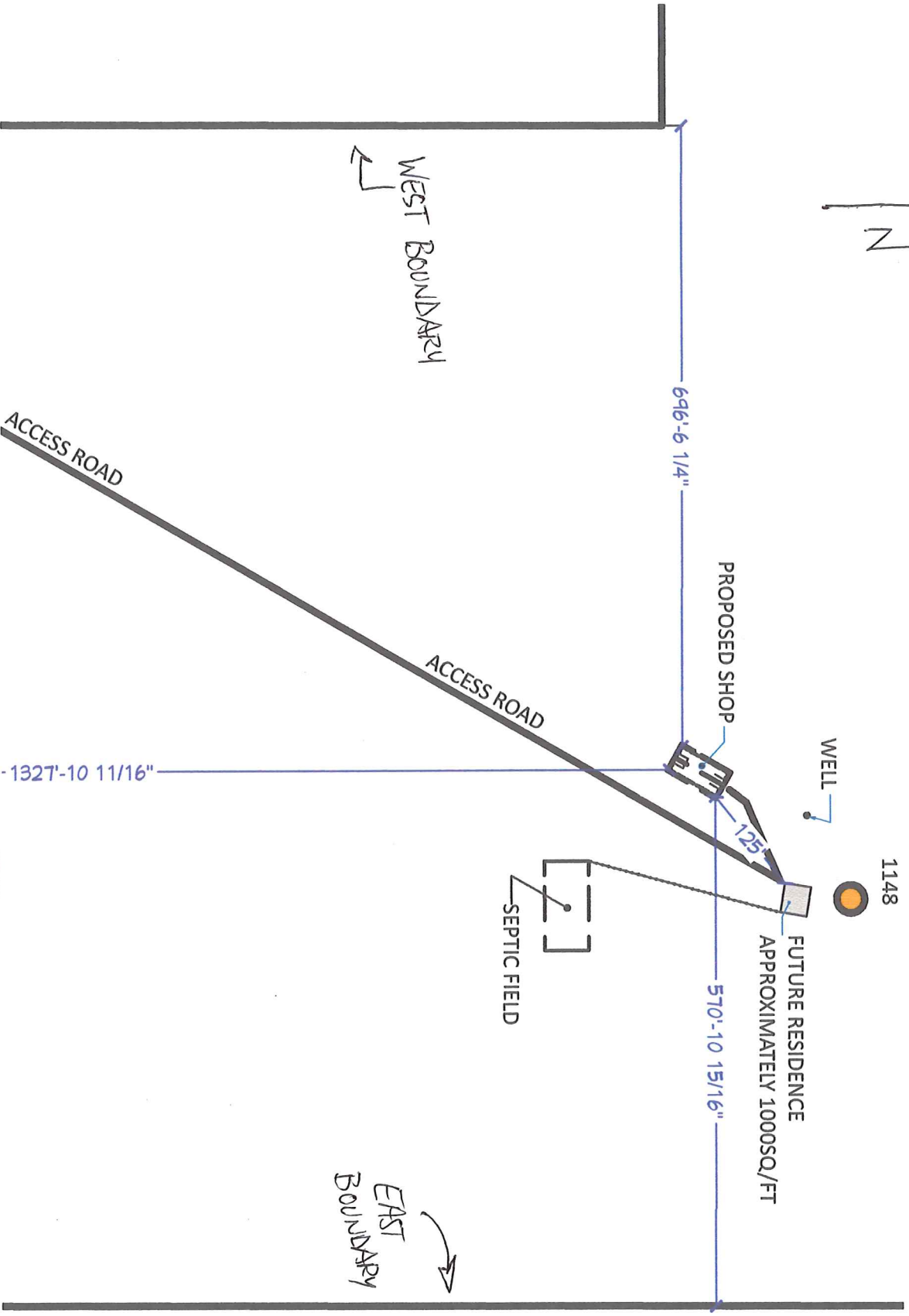
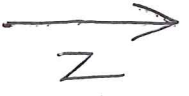
WINDOW SCHEDULE										
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	ROOM NAME	FLOOR	SIZE	R/O	EGRESS	DESCRIPTION	
	W01	3630LS	6	SHOP	1	3630LS	43"X37"		LEFT SLIDING	
	W02	3630RS	6	SHOP	1	3630RS	43"X37"		RIGHT SLIDING	

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

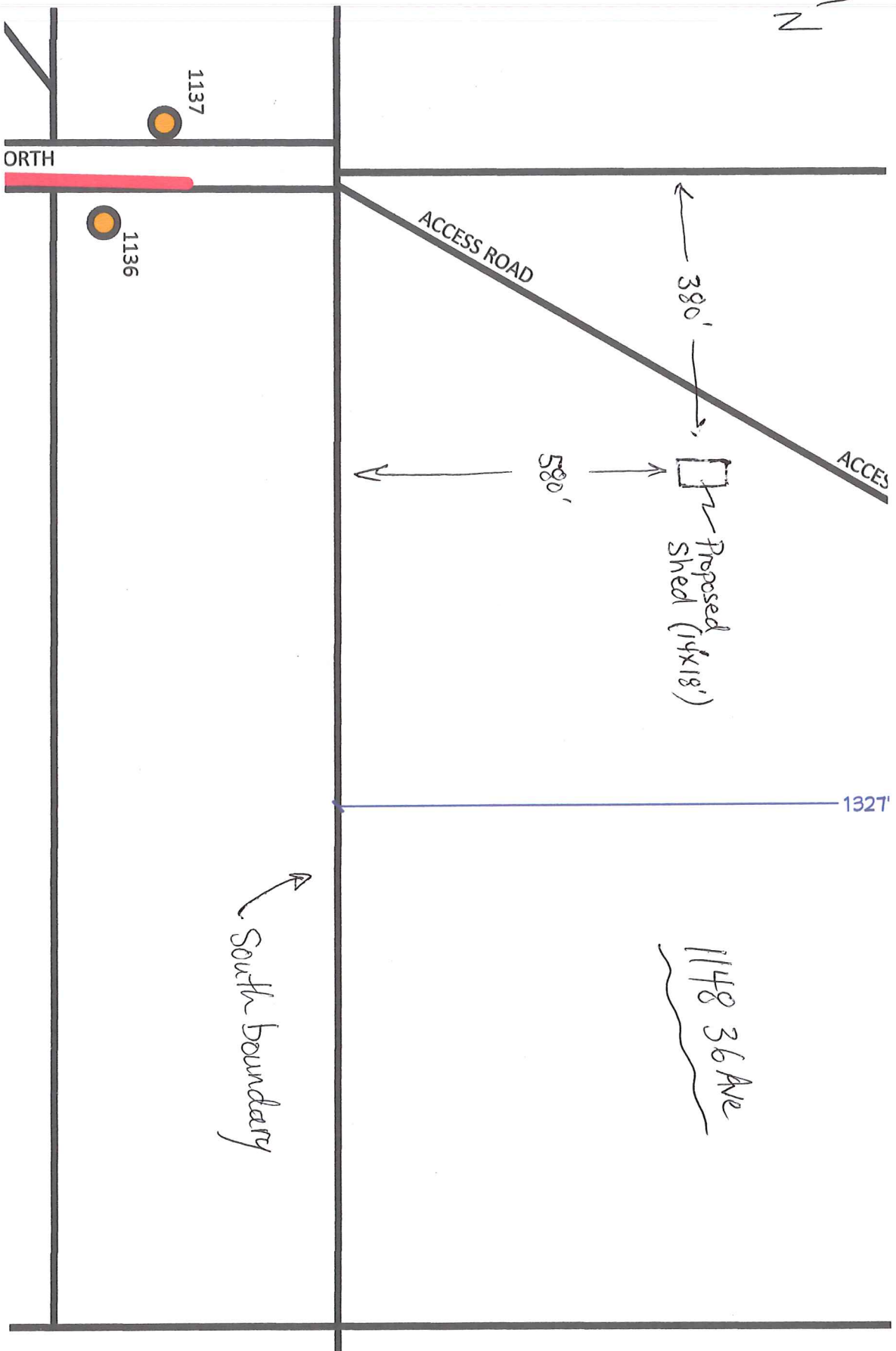


HOMEOOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

A-3	SHEET	SCALE 1cm - 30m	DATE 4/9/2021	DRAWINGS PROVIDED BY:		PROJECT DESCRIPTION:		SHEET TITLE:		<table border="1"> <thead> <tr> <th>NO</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO	DESCRIPTION	BY	DATE																	PAGE 3
				NO	DESCRIPTION	BY	DATE																								
RIDGELINE DRAFTING & DESIGN 210 21ST AVENUE NORTH CRESTON B.C. V0B1G5 PH:250-428-8780 C:250-431-8653 E-MAIL: vpugh@telus.net http://www.ridgeline-designs.com		KELLY FYFE 1148 36 AVENUE NORTH CRESTON B.C. FOLIO 786.04628.000 PID 016-332-822		PLOT PLAN																											



ENLARGEMENT OF SHOP & HOUSE AREA



ENLARGEMENT OF SOUTH BOUNDARY
& PROPOSED SHED LOCATION

20.0 RURAL RESOURCE (R4)

Permitted Uses

1. Land, buildings and structures in the Rural Resource (R4) zone shall be used for the following purposes only:
 - Dwellings:
 - One Family
 - Two Family
 - Horse Riding Stables and Boarding Stables
 - Horticulture
 - Micro Cultivation, Cannabis
 - Micro Processing, Cannabis
 - Nursery, Cannabis
 - Nurseries, Greenhouses and Florists
 - Veterinary Clinics
 - Kennels
 - Accessory Uses:
 - Accessory Buildings or Structures
 - Accessory Tourist Accommodation
 - Home Based Business
 - Keeping of Farm Animals
 - Sale of Site Grown Agricultural Produce
 - Portable Sawmills

Development Regulations

2. The minimum site area for each permitted use shall be two (2) hectares.
3. The maximum site coverage permitted shall be 50 percent of the lot area.
4. The keeping of farm animals shall comply with the requirements of section 16.0 (79).
5. Buildings and structures in the case of a lot that may be further sub-divided shall be sited so as to facilitate the further subdivision of the lot or adjacent lots.
6. Portable Sawmills shall be located a minimum of 30 metres from any property line.
7. The minimum setback for a kennel shall be 30 metres from any lot line.
8. An accessory building may be constructed on a lot prior to construction of a dwelling subject to the maximum size of 75 square metres (m²).
9. The maximum height of any accessory building or structure shall not exceed 8 metres.
10. The maximum footprint of any accessory building or structure shall not exceed 250 square metres.
11. The cumulative gross floor area of all accessory buildings or structures shall not exceed 500 square metres.

Cannabis Regulations

12. Any building or structure for the purposes of cannabis micro cultivation, cannabis micro processing or cannabis nurseries shall be a minimum of 15 metres from all property lines, with the exception of a structure that has a base entirely of soil which may be located within 7.5 metres of a property line.
13. Cannabis micro-cultivation, cannabis micro-processing or cannabis nursery licenses shall not be permitted in a dwelling place.