



Development Variance Permit Application

Referral Form – RDCK File V2308G

Date: October 25, 2023

You are requested to comment on the attached DEVELOPMENT VARIANCE PERMIT for potential effect on your agency's interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO November 24, 2023). If no response is received within that time, it will be assumed that your agency's interests are unaffected.

LEGAL DESCRIPTION & GENERAL LOCATION:

7210 1ST AVENUE , YMIR, ELECTORAL AREA 'G'
 LOT 3 BLOCK 18 DISTRICT LOT 1242 KOOTENAY DISTRICT PLAN 640 (PID: 007-570-520) and LOT 4 BLOCK 18 DISTRICT LOT 1242 KOOTENAY DISTRICT PLAN 640 (PID: 007-570-538)

PRESENT USE AND PURPOSE OF PERMIT REQUESTED:

The subject property is located in the unincorporated village of Ymir south of the RDCK's Ymir Fire Hall and north of a residential property. The Ymir Community Hall is a 50 year old multi-purpose building/venue that is owned and operated by Ymir Community Association.

The applicant is requesting a variance from the setback requirements in order to improve the existing emergency exit on the north side of the building by constructing an accessible ramp. Due to the fact that the existing building is only 2 metres from the northern interior lot line, the construction of the accessible emergency exit ramp will encroach into the required 2.5 metre setback. Inclusive of the railing, the ramp will be approximately 1.8 metres wide and will therefore be 0.2 metres from the northern interior lot line.

This Development Variance Permit (DVP) seeks to vary Section 29.5 under the *Electoral Area 'G' Land Use Bylaw No. 2452, 2018* in order to permit a 0.2 metre setback from the northern interior side lot line whereas the bylaw requires a minimum setback of 2.5 metres to an interior lot line.

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING	OCP
554 m ²	N/A	Community Services (CS)	Community Services (CS)

APPLICANT:

Erie Creek Building (Travis Johnston)

OTHER INFORMATION: ADVISORY PLANNING COMMISSION PLEASE NOTE:

If your Advisory Planning Commission plans to hold a meeting to discuss this Development Variance Permit application, please note that the applicants must be provided with an opportunity to attend such meeting, in accordance with Section 461, subsection (8) of the *Local Government Act*, which reads as follows:

"If the commission is considering an amendment to a plan or bylaw, or the issue of a permit, the applicant for the amendment or permit is entitled to attend meetings of the commission and be heard."

Please fill out the Response Summary on the back of this form. If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this permit.

**ZACHARI GIACOMAZZO, PLANNER
 REGIONAL DISTRICT OF CENTRAL KOOTENAY**

<input checked="" type="checkbox"/> MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE <input type="checkbox"/> HABITAT BRANCH (Environment) <input type="checkbox"/> FRONTCOUNTER BC (MFLNRORD)	REGIONAL DISTRICT OF CENTRAL KOOTENAY DIRECTORS FOR: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input checked="" type="checkbox"/> G <input type="checkbox"/> H <input type="checkbox"/> I <input type="checkbox"/> J <input type="checkbox"/> K ALTERNATIVE DIRECTORS FOR:
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<input type="checkbox"/> AGRICULTURAL LAND COMMISSION <input type="checkbox"/> REGIONAL AGROLOGIST <input type="checkbox"/> ENERGY & MINES <input type="checkbox"/> MUNICIPAL AFFAIRS & HOUSING <input checked="" type="checkbox"/> INTERIOR HEALTH, HBE TEAM <input type="checkbox"/> KOOTENAY LAKES PARTNERSHIP (FORESHORE DEVELOPMENT PERMITS) <input type="checkbox"/> SCHOOL DISTRICT NO. <input type="checkbox"/> WATER SYSTEM OR IRRIGATION DISTRICT <input checked="" type="checkbox"/> UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)	<input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input checked="" type="checkbox"/> G <input type="checkbox"/> H <input type="checkbox"/> I <input type="checkbox"/> J <input type="checkbox"/> K <input checked="" type="checkbox"/> APHC AREA 'G' <input checked="" type="checkbox"/> RDCK FIRE SERVICES <input type="checkbox"/> RDCK EMERGENCY SERVICES <input checked="" type="checkbox"/> RDCK BUILDING SERVICES <input checked="" type="checkbox"/> RDCK UTILITY SERVICES (YMIR WATER SYSTEM) <input type="checkbox"/> RDCK RESOURCE RECOVERY <input type="checkbox"/> RDCK REGIONAL PARKS <input type="checkbox"/> CRESTON VALLEY AGRICULTURAL ADVISORY COMMISSION INSERT COMMENTS ON REVERSE . . .
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The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), info@rdck.bc.ca, or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

RESPONSE SUMMARY

FILE: V2308G

APPLICANT: ERIE CREEK BUILDING C/O TRAVIS JOHNSTON

Name:

Date:

Agency:

Title:

RETURN TO: ZACHARI GIACOMAZZO, PLANNER
DEVELOPMENT AND COMMUNITY SUSTAINABILITY SERVICES
REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 LAKESIDE DRIVE
NELSON, BC V1L 5R4
Ph. 250-352-8190
Email: plandept@rdck.bc.ca



REGIONAL DISTRICT OF CENTRAL KOOTENAY
 Box 590, 202 Lakeside Drive,
 Nelson, BC V1L 5R4
 Phone: 1-800-268-7325 www.rdck.bc.ca
 maps@rdck.bc.ca

Legend

- Electoral Areas
- RDCK Streets
- Cadastre
- Address Points

Map Scale:

1:5,000

Date: October 25, 2023



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.



REGIONAL DISTRICT OF CENTRAL KOOTENAY
 Box 590, 202 Lakeside Drive,
 Nelson, BC V1L 5R4
 Phone: 1-800-268-7325 www.rdck.bc.ca
 maps@rdck.bc.ca

Legend

- Electoral Areas
- RDCK Streets
- Cadastre
- Address Points

Map Scale:

1:600

Date: October 25, 2023



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Maxar, Microsoft



REGIONAL DISTRICT OF CENTRAL KOOTENAY
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 Nelson, BC V1L 5R4
 Phone: 1-800-268-7325 www.rdck.bc.ca
 maps@rdck.bc.ca

Legend

- Zoning Class**
- Commercial
 - Community Services
 - Parks and Recreation

- Residential 1
- Electoral Areas
- RDCK Streets
- Cadastre
- Address Points

Map Scale:

1:600

Date: October 25, 2023



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Ymir Community Hall Proposal Summary

This is a proposal Summary for the Development Variance Permit for the creation of an emergency exit wheelchair ramp for the Ymir Community Hall located at 7210 1st Ave., Ymir BC.

We have received a grant from Columbia Basin Trust to complete upgrades to the existing building that will enable us to bring the hall up to code and rejuvenate the 50 year old building.

One of the upgrades is to create an emergency exit wheelchair ramp on the north side of the building out of one of the already existing emergency exit doors (there is an existing ramp but it is not up to code). Therefore, we are applying for a variance on the north side of the building in accordance to bylaw CS 29.0 which states a minimum interior setback of 2.5m. To create our emergency exit wheelchair ramp the ramp will be 5' 1.5" and from the building to the property line is 2m which leaves 1' 5 7/16" to the property line.

We have had the property lines surveyed and have had Cover Architecture design a proper ramp to code (see attached plan).

We need an emergency wheelchair ramp exit in the hall for safety. This ramp will be utilized as an exit only in the case of emergency. We chose the north side because it made most sense. There is already an existing 48" wide exit door with proper exit signs and it is also the shortest distance to the road.

The property located next to the Ymir Hall is the Ymir Fire Hall. After conversations with the Ymir Fire Chief, we are very confident that this wheelchair ramp will in no way negatively affect the adjacent property or the workings of the firehall in general. In fact, this would be a positive addition to this previously unused side of the building and will be a positive safety measure.

Thanks for your consideration on this application. This upgrade to the hall is very important to the community and tourism. Ymir is known as a hub of arts and culture and the hall has served as a main venue for festivals, weddings, and various events for many years. This project will enable the hall to continue its use in a safe and effective manner.

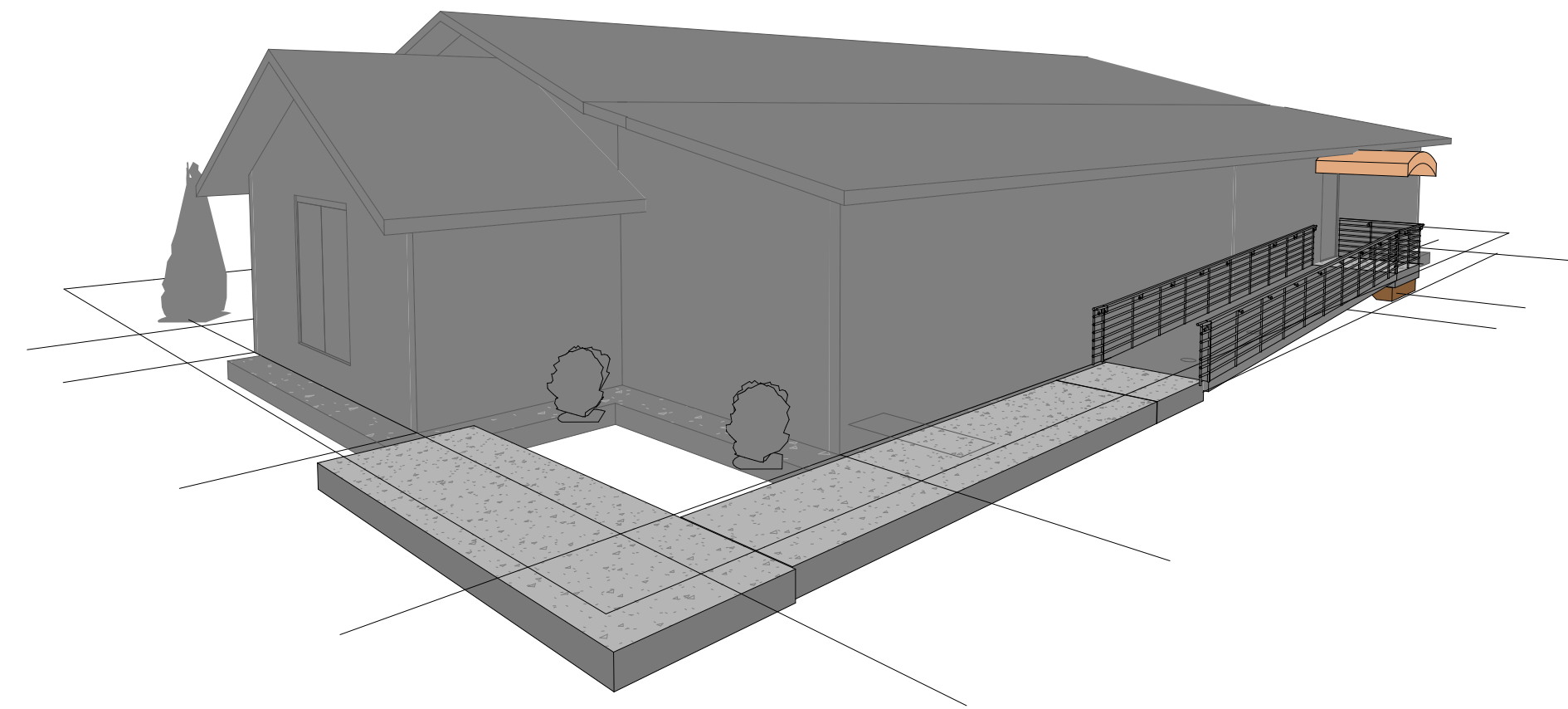
Sincerely,

Ymir Community Association

YMIR HALL ACCESSIBILITY UPDATES

ISSUED FOR PERMIT

2023-09-25



CONSULTANTS

COVER ARCHITECTURAL COLLABORATIVE INC.
96 BAKER ST.
NELSON, BC V1L 4G9
250 354 4445

DRAWING LIST

A000 COVER PAGE
A001 NOTE, LEGEND
A004 CODE REVIEW & BYLAW REVIEW
A005 DOOR SCHEDULE
A101 SITE PLAN
A201 MAIN FLOOR PLAN
A215 REFLECTED CEILING PLAN
A301 ELEVATIONS
A401 BUILDING SECTIONS
A901 INT. FINISHES/INT. ELEVATIONS

S1 COVER PAGE

M1 COVER PAGE

E0 COVER PAGE

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ARCHITECTURE

#156 Baker Street
Nelson BC
V1L 4G9

250 354 4445
cover.ca

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CONSULTANTS

TRAVIS JOHNSON, GC

CLIENT

TRAVIS JOHNSON
YMIR COMMUNITY

REVISIONS

REVISION SCHEDULE		
1	23/07/10	ISSUED

MASTER TEMPLATE

ADDRESS
7210 1 AVE, YMIR, B.C.

PROJECT #
23058

DATE
2023-09-25

REV.

DESIGNED BY ml
CHECKED BY RS
DRAWN BY ml/sm

SHEET
COVER PAGE

A000

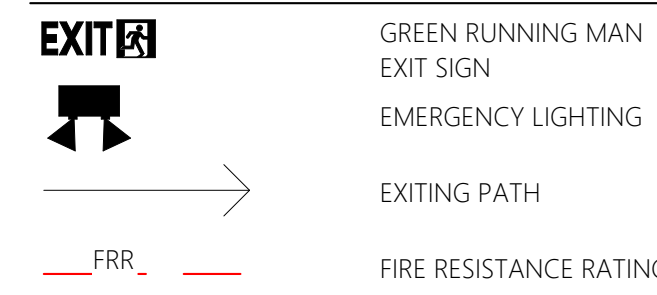
GENERAL CONSTRUCTION NOTES

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS, FINISHES SCHEDULE AND OWNERS SUPPLY SCHEDULE.
- CONFIRM ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL LABOUR, MATERIALS, AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE 2018 EDITION (BCBC) AND ALL OTHER APPLICABLE CODES, STANDARDS AND BY-LAWS.
- BUILDING CODE, SAFETY STANDARDS, AND REGULATORY STATUTE REFERENCES ON DRAWINGS ARE FOR AUTHORITY REVIEW PURPOSES ONLY. THE PRESENCE OF THE AFOREMENTIONED NOTES DOES NOT RELEASE THE CONTRACTOR AND ALL OTHERS INVOLVED IN THE CONSTRUCTION OF THE PROJECT FROM THEIR LEGAL AND STATUTORY RESPONSIBILITY TO CONFORM TO THE LAW OF THE LAND IN CONSTRUCTION AND THE CONSTRUCTION OF THE BUILDING.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUDS, OR TO GRIDLINE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MUST BE FIELD MEASURED ON SITE AND SHOWN ON SHOP DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CARRYING OUT WORK.
- IF ADJUSTMENTS ARE REQUIRED, ADVISE THE CONSULTANT PRIOR TO CARRYING OUT WORK.
- ALL AREAS ADJACENT TO AREA OF WORK ARE TO BE CONSIDERED OCCUPIED. WORK THAT IMPAIRS CORRIDOR ACCESS IS TO BE COORDINATED IN ADVANCE WITH OWNER.
- PATCH AND MAKE GOOD ALL DAMAGED FINISHES & STRUCTURE (WALL, FLOOR, & CEILING) WHICH WERE A RESULT FROM DEMOLITION OR CONSTRUCTION.
- COORDINATE WITH OWNER THE REMOVAL OF ALL EQUIPMENTS, AND SUPPLIES PRIOR TO CONSTRUCTION.
- IF CONTRACTOR FINDS ASBESTOS OR OTHER HAZARDOUS MATERIALS IN THE COURSE OF THE WORK, STOP WORK AND IMMEDIATELY REPORT TO CONSULTANT.
- PROVIDE SOLID BLOCKING AS REQUIRED IN PARTITION WALLS TO SUPPORT SHELVING, HANGER RODS, MILLWORK, SINKS, ACCESSORIES AND OTHER ITEMS THAT ARE PART OF THIS CONTRACT OR PROVIDED BY OTHERS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR COMPLETE SPECIFICATIONS, INCLUDING COLOUR AND FINISHES OF EQUIPMENT AND COVER PLATES.
- MECHANICAL AND ELECTRICAL ITEMS SHOWN ON THESE ARCHITECTURAL DRAWINGS ARE FOR COORDINATION PURPOSES. REFER TO RESPECTIVE DISCIPLINES FOR COMPLETE LAYOUTS.
- REFER TO THE SPECIFICATIONS FOR DETAILS AROUND ALTERNATE PRICES AND CASH ALLOWANCES.
- FLOORS ARE TO BE MADE LEVEL PRIOR TO ANY FLOORING INSTALLATION.
- ALL NEW AND EXISTING PENETRATIONS AND WALLS ARE TO BE SEALED TO PREVENT AIR LEAKAGE.

GENERAL DEMOLITION NOTES

- DEMOLISH, SALVAGE, REUSE AND/OR DISPOSE OF PRODUCTS AS INDICATED ON DRAWINGS.
- MINIMIZE, TO THE GREATEST EXTENT POSSIBLE, DAMAGE TO ADJACENT SURFACES DURING DEMOLITION.
- ALL CUTTING AND PATCHING WORK SHALL BE DONE IN A MANNER TO RECEIVE NEW WORK AND FINISHES.
- SALVAGED MATERIALS BECOME THE PROPERTY OF THE OWNER UNLESS NOTED OTHERWISE.
- PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REMOVED IN THE PERFORMANCE OF THE WORK. FIRE-RESISTANCE RATING SHALL MATCH EXISTING.
- CONFIRM LOCATIONS OF ALL MECHANICAL AND ELECTRICAL SERVICES PRIOR TO DEMOLITION. MECHANICAL AND ELECTRICAL ELEMENTS SERVING OTHER FLOORS ARE TO REMAIN UNLESS NOTED OTHERWISE ON MECHANICAL AND ELECTRICAL DRAWINGS.
- TERMINATE AND CAP OFF ALL PROJECTING MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATIONS SYSTEMS INDICATED TO BE REMOVED. ENGINEERS DRAWINGS GOVERN THE EXTEND AND METHOD OF REMOVAL, CAPPING OFF AND MAKING SAFE OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SYSTEMS.
- LEVEL AND PATCH DAMAGE TO SUBFLOORS CAUSED BY REMOVAL OF FLOOR FINISHES.

LIFE SAFETY LEGEND



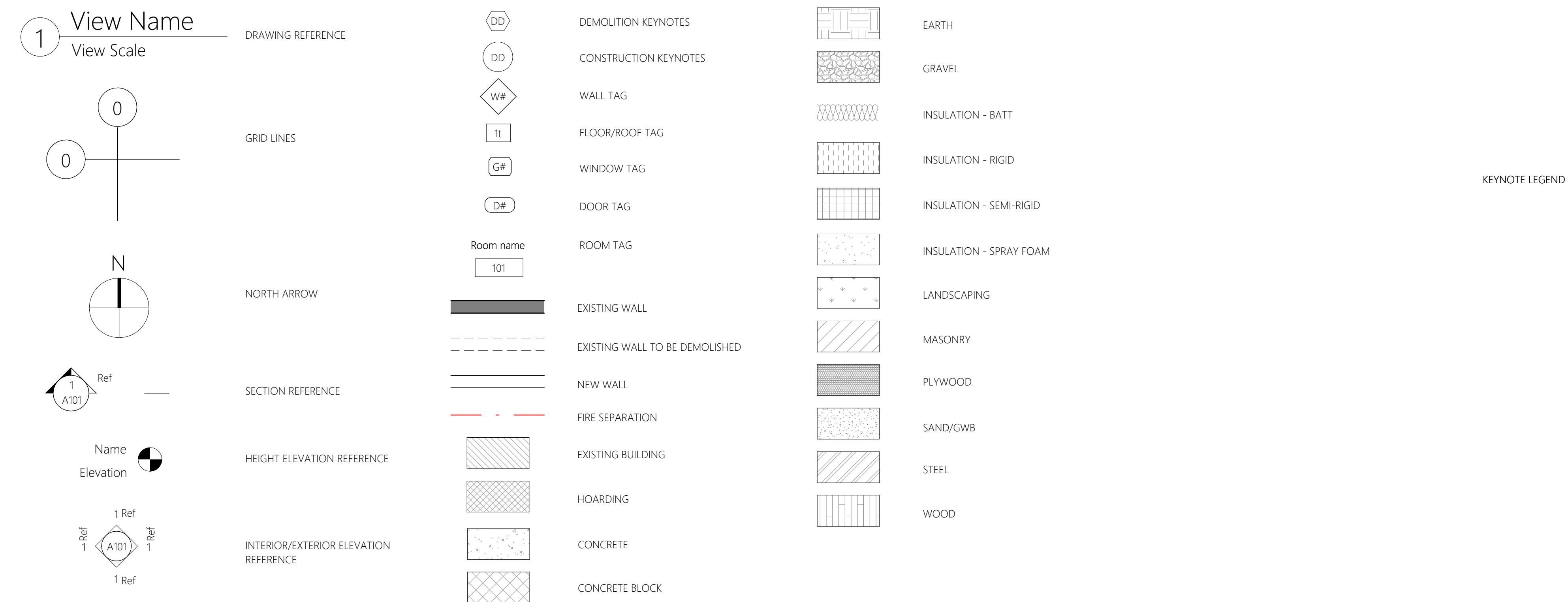
SHEET NOTES: LIFE SAFETY

- THE CONTRACTOR SHALL SUPPLY AND INSTALL FIRE EXTINGUISHERS AS NOTED ON THE MECHANICAL DRAWINGS AND ACCORDANCE WITH NFPA 10 REQUIREMENTS.
- FIRE EXTINGUISHER SHALL BE ACCORDANCE WITH CAN4-S508-M83 AND HAVE A UL/CSA LABEL.
- FOR WALLS 100 mm TO 250 mm THICK, PROVIDE A SEMI-RECESSED CABINETS COMPLETE WITH GLASS DOOR.

ABBREVIATIONS

AC.	ACOUSTIC	GA.	GAUGE	RAD.	RADIUS
ADJ.	ADJUSTABLE	GB.	GRAB BAR	RB.	ROLLER BLINDS
ALT.	ALTERNATE	GL.	GLASS	RCP.	REFLECTED CEILING PLAN
ALUM.	ALUMINIUM	GLULAM.	GLUE-LAMINATED	RD.	ROOF DRAIN
ANOD.	ANODIZED	GR.	GRADE	REINF.	REINFORCED
APPROX.	APPROXIMATE	GWB.	GYP SUM WALL BOARD	REQ'D.	REQUIRED
AVM.	AIR/VAPOUR/MOISTURE	GWB.WR.	GYP SUM WALL BOARD - WATER RESISTANT	REV.	REVISION
BD.	BOARD	HCW.	HOLLOW CORE WOOD	RTU.	ROOF TOP UNIT
BLDG.	BUILDING	HDR.	HEADER	RM.	ROOM
BLK.	BLOCK	HD.WD.	HARD WOOD	RO.	ROUGH OPENING
BLKG.	BLOCKING	HHS.	HAND HYGIENE SINK	RWD/P.	RAIN WATER DOWN PIPE
BM.	BEAM	HJM.	HOLLOW METAL	RWL.	RAIN WATER LEADER
BOT.	BOTTOM	HORZ.	HORIZONTAL	SAP.	SUSPENDED ACOUSTIC PANEL
CB.	CATCH BASIN	HSS.	HOLLOW STRUCTURAL SECTION	SCW.	SOLID CORE WOOD
CG.	CORNER GUARD	HTR.	HEATER	SD.	SOAP DISPENSER
CIP.	CAST IN PLACE	HWT.	HOT WATER TANK	SAN.D.	SANITARY DISPOSAL
CJ.	CONTROL JOINT	ID.	INSIDE DIAMETER	SEC.G.	SECURITY GRILLE
CL.	CENTER LINE	IF.	INSIDE FACE	SECT.	SECTION
CLG.	CEILING	INSUL.	INSULATION	SG.	SEMI-GLOSS
CMU.	CONCRETE MASONRY UNIT	INT.	INTERIOR	SHTG.	SHEATHING
COL.	COLUMN	IT.	JOINT	SM.	SIMILAR
COMP.	COMPACTED	LAV.	LAVATORY	SNW.G.	SNOW GUARD
CONC.	CONCRETE	LG.	LONG	SOG.	SLAB ON GRADE
CONT.	CONTINUOUS	M.STD.	METAL STUD	STC.	SOUND TRANSMISSION CLASS
CORR.	CORRIDOR	m.	METER	SPEC.	SPECIFICATION
COV.	COVER	MATL.	MATERIAL	SQ.	SQUARE
C/W.	COMPLETE WITH	MAX.	MAXIMUM	SS.	STAINLESS STEEL
CS/CI.	CONTRACTOR SUPPLY-CONTRACTOR INSTALL	MDF.	MEDIUM DENSITY FIBREBOARD	STD.	STANDARD
DEG.	DEGREE	MECH.	MECHANICAL	STRUCT.STRUCTURAL	STRUCT.STRUCTURAL
DF.	DRINKING FOUNTAIN	MEZZ.	MEZZANINE	SUSP.	SUSPENDED
DIA.	DIAMETER	MH.	MANHOLE	SYM.	SYMMETRICAL
DIAG.	DIAGONAL	MIN.	MINIMUM	T&G.	TONGUE AND GROOVE
DN.	DOWN	MISC.	MISCELLANEOUS	TBD.	TO BE DETERMINED
DRY.	DRYER (CLOTHES)	mm.	MILLIMETERS	TEMP.	TEMPERATURE
DS.	DOWNSPOUT	MO.	MASONRY OPENING	T/O.	TOP OF
DWG(S).DRAWINGS		MR.	MOISTURE RESISTANT	TP.	TOILET/WASHROOM PARTITIONS
EA.	EACH	MS.	MOP SINK	TPD.	TOILET PAPER DISPENSER
EA.F.	EACH FACE	NIC.	NOT IN CONTRACT	TRANS.	TRANSFORMER
ELEC.	ELECTRICAL	NO.	(#)NUMBER	TS.	TRACK SYSTEM
ELEV.	ELEVATION	NTS.	NOT TO SCALE	TV.	TELEVISION
EQ.	EQUAL	O/C.	ON CENTER	TYP.	TYPICAL
ES.	EXPOSED STRUCTURE	O.D.	OUTSIDE DIAMETER	U/C.	UNDER COUNTER
EXIST.	EXISTING	O.S.F.	OUTSIDE FACE	U.N.O.	UNLESS NOTED OTHERWISE
EXP.	EXPOSED	OPP.	OPPOSITE	U/S.	UNDERSIDE
EXP.JT.	EXPANSION JOINT	OSB.	ORIENTED STRAND BOARD	VB.	VAPOUR BARRIER
EXPN.	EXPANSION	OS/OI.	OWNER SUPPLY-OWNER INSTALL	VERT.	VERTICAL
EXTR.	EXTERIOR	OS/CI.	OWNER SUPPLY-CONTRACTOR INSTALL	VEST.	VESTIBULE
EXT.GR.	EXTERIOR GRADE	OS/VI.	OWNER SUPPLY-VENDOR INSTALL	VC.	VERNACARE
FOC.	FACE OF CURB	OVSJ.	OPEN WEB STEEL JOIST	VJ.	V JOINT
F.	FILM	PAT.	PATIENT	VOL.	VOLUME
FD.	FLOOR DRAIN	PERIM.	PERIMETER	W/.	WITH
FDN.	FOUNDATION	PG.	PLATE GLASS	WC.	WATER CLOSET
FE.	FIRE EXTINGUISHER	PJ.	PARALAM JOIST	WD.	WOOD
FEC.	FIRE EXTINGUISHER CABINET	PLY.	PLYWOOD	WF.	WALL FOUNTAIN
FHC.	FIRE HOSE CABINET	P.LAM.	PLASTIC LAMINATE	WWM.	WELDED WIRE MESH
FIN.GD.	FINISHED GRADE	POLY.	POLYETHYLENE		
FLR.	FLOOR	PP.	POWER POLE		
FP.	FIRE PLACE	PR.	PAIR		
FRP.	FIBER REINFORCED PLASTIC	PSC.	PARALAM STEEL CONNECTION		
FRS.	FIRE SHUTTER	PSF.	PRESSED STEEL FRAME		
FTG.	FOOTING	PT.	PRESSURE TREATED		
FURR.	FURRING	PTD.	PAPER TOWEL DISPENSER		
F/O.	FACE OF	PROJ.	PROJECTION		
		PVC.	POLYVINYL CHLORIDE		
		PVCW.	POLYVINYL CHLORIDE WALLCOVERING		

GRAPHIC LEGEND



NOT FOR CONSTRUCTION



ARCHITECTURE

4196 Baker Street
Vancouver, BC
V7L 4G9

250 354-4445
cover.ca

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CONSULTANTS

TRAVIS JOHNSON

CLIENT

TRAVIS JOHNSON
YMIR COMMUNITY

REVISIONS

REVISION SCHEDULE		
1	23/07/10	ISSUED

MASTER TEMPLATE

ADDRESS
7210 1 AVE, YMIR, B.C.

PROJECT #
23058

DATE
2023-09-25

REV.

DESIGNED BY ml
CHECKED BY RS
DRAWN BY ml/sm

SHEET
NOTE, LEGEND

A001

2018 BC BUILDING CODE REVIEW

PROJECT SUMMARY

BUILDING AREA	BUILDING HEIGHT	BUILDING CLASSIFICATION	ZONING
350m ²	1 STOREY	GROUP A, DIVISION 2	COMMUNITY SERVICES (CS)

CODE REFERENCE	CODE SENTENCE	APPLICABLE
3.2.2.28 Building Size and Construction Relative to Occupancy	Group A, Division 2, One Storey 1) A building classified as Group A, Division 2 is permitted to be of combustible construction or noncombustible construction, used singly or in combination, provided a) it is not more than 1 storey in building height, and b) except as permitted by Sentence (2), it has a building area not more than 400 m ² if facing one street.	
Table 3.1.17.1 Occupant Load	Standing room area=146.6m ² max occ.= 60	
3.7.2.2. Water Closets	1) Except as permitted by Sentence (4), water closets shall be provided for each sex assuming that the occupant load is equally divided between males and females, unless the proportion of each sex expected in the building can be determined with reasonable accuracy. (See Note A-3.7.2.2.(1).) 3) If only one universal washroom is provided in accordance with Section 3.8., the water closet in this room shall not be taken into consideration in determining the number of water closets required by this Article. 5) Urinals are permitted to be substituted for two thirds of the number of water closets required by this Article for males, except that if only 2 water closets are required for males, one urinal is permitted to be substituted for one of the water closets. 6) The number of water closets required for assembly occupancies shall conform to Table 3.7.2.2.-A.	
Table 3.7.2.2. Water Closets	# persons of each sex 51 - 75	Male 2 Female 3

RDCK BYLAW REVIEW

REGIONAL DISTRICT OF CENTRAL KOOTENAY SCHEDULE "B" - CLIMATIC AND GEOLOGICAL DATA TO BUILDING BYLAW NO. 2200, 2010	MAXIMUM GROUND SNOWLOAD	
	kPa	P.S.F.
9.0 APPLICATIONS FOR COMPLEX BUILDINGS	Ymir	5.5 116
Complex Building means: (a) all buildings used for major occupancies classified as (i) assembly occupancy,		
9.1 An application for a permit with respect to a complex building shall 9.1.1 be made in the form attached as form "A" to this bylaw and signed by the owner, or a signing officer, if the owner is a corporation;	9.1.5.1 the bearing and dimensions of the parcel taken from the registered subdivision plan; 9.1.5.2 the legal description and civic address of the parcel;	
9.1.2 be accompanied by the owner's acknowledgment of responsibility and undertakings made in the form provided as form "B" to this bylaw, signed by the owner, or a signing officer if the owner is a corporation;	9.1.5.3 the location and dimensions of all statutory rights of way, easements and setback requirements when required by the building official;	
9.1.3 include a copy of a title search, accompanied by referenced covenants, made within 30 days of the date of the application;	9.1.5.4 the location and dimensions of all existing and proposed buildings or structures on the parcel;	
9.1.4 state the intended use of the building;	9.1.5.5 setbacks to the natural boundary of any lake, swamp, pond or watercourse where the Regional District or Village land use regulations establish siting requirements related to flooding;	
9.1.5 include a site plan prepared by a British Columbia Land Surveyor or by a registered professional showing	9.1.5.6 the existing and finished ground levels to an established datum at or adjacent to the site and the geodetic elevation of the underside of the floor system of a building or structure where the Regional District or Village land use regulations establish siting requirements related to minimum floor elevations; and 9.1.5.7 the location, dimension and gradient of parking and driveway access;	

CODE REFERENCE	CODE SENTENCE	APPLICABLE
3.8.3.5 Ramps	1) Except as provided in Sentence 3.8.3.3.(2), a ramp located in an accessible path of travel shall a) have a clear width not less than 1500 mm b) have a slope not more than 1 in 12 (see Note A-3.8.3.5.(1)(b)). A-3.8.3.5.(1)(b) Ramp Slopes. Although Article 3.8.3.5, permits slopes on ramps as great as 1 in 12 for distances of up to 9 m, slopes of 1 in 20 are safer and less strenuous. A strip contrasting in colour and texture should be used at the top and bottom of ramps to warn persons with low or no vision. c) have a level area not less than 1 500 by 1 500 mm at the top and bottom and at intermediate levels of a ramp leading to a door, so that on the latch side the level area extends not less than i) 300 mm beyond the edge of the door opening where the door opens away from the ramp, d) have a level area not less than 1 500 mm long and at least the same width as the ramp i) at intervals not more than 9 m along its length, e) be equipped with a handrail on each side of the ramp conforming to Article 3.4.6.5., except that they shall be not less than 865 mm and not more than 965 mm high A-3.8.3.5.(4)(a) Surface of Ramps. Sentence 3.8.3.2.(2) requires that all walking surfaces in an accessible path of travel be stable and firm to limit the effort required by persons using wheelchairs or other mobility aids. Therefore, Sentence 3.8.3.5.(4) requires that hard or resilient flooring be used on the surfaces of steeper ramps. Furthermore, carpet and like materials should not be installed on any ramp.	
3.8.3.6. Doorways and Doors	2) Every doorway that is located in an accessible path of travel shall have a clear width not less than 850 mm a) for swinging doors, when measured from the face of the active leaf, in the open position of 90° to the doorway, to the outside edge of the stop on the door frame (See Note A-3.8.3.6.(2).) A-3.8.3.6.(2) Doorway Width. Standard wheelchair width specifications indicate a range of sizes from 584 mm overall to 685 mm overall. Every doorway that is located in an accessible path of travel must have a clear width of not less than 850 mm when the door is in the open position and therefore it is important that this dimension be measured correctly. The clear width of not less than 850 mm is measured from the face of the door in the open position of 90° to the doorway to the outside edge of the stop on the door frame. It is not sufficient just to measure the inside width of the door frame.	
3.8.3.12. Universal Washrooms (See Note A-3.8.3.12.)	A-3.8.3.12. Universal Washrooms. Unobstructed areas in front of the lavatory, in front of the water closet and on one side of the water closet are necessary for maneuverability of a wheelchair. Fixtures, including additional fixtures, should be located so as to be useable and also to provide maneuverability for persons using wheelchairs. Wall-mounted fixtures may project into the required floor space, provided that such projections do not restrict the maneuvering space required for persons using wheelchairs. Although power operated and outward swinging doors are preferable for accessibility, manually operated as well as inward swinging doors are also permitted. 1) A universal washroom shall a) be served by an accessible path of travel, b) have a door complying with Article 3.8.3.6., that i) has a latch-operating mechanism located 900 mm to 1100 mm above the floor that complies with Clause 3.8.3.8.(1)(c) and is capable of being locked from the inside, and released from the outside in case of emergency, and ii) if it is an outward swinging door that is not self-closing, is provided with a horizontal, D-shaped, visually contrasting door pull not less than 140 mm long located on the inside such that its midpoint is 200 mm to 300 mm from the hinged side of the door and 900 mm to 1100 mm above the floor (See Note A-3.8.3.11.(1)(c)(vi)). c) have one lavatory and one mirror conforming to Article 3.8.3.15., d) have one water closet conforming to Article 3.8.3.13. and Clause 3.8.3.11.(1)(d), with a clear floor space at least 900 mm wide that is parallel and adjacent to the open side of the water closet, e) have grab bars conforming to Clauses 3.8.3.11.(1)(e) and (f), f) have a coat hook conforming to Clause 3.8.3.11.(1)(g), g) have a toilet paper dispenser conforming to Clause 3.8.3.11.(1)(h), h) unless counter space of not less than 200 mm by 400 mm is provided, have a shelf located not more than 1 200 mm above the floor with a useable surface of not less than 200 mm by 400 mm, and i) have a floor space of not less than i) 3.7 m ² with no dimension less than 1 700 mm when the door swings out.	

CODE REFERENCE	CODE SENTENCE	APPLICABLE
3.8.3.13. Water Closets	1) A water closet for a person with physical disabilities shall a) be equipped with a seat that is not the spring-up type located 430 mm to 480 mm above the floor, b) flush automatically or be equipped with a flushing control that i) is located 500 mm to 900 mm above the floor, ii) is located not more than 350 mm from the transfer side, and iii) complies with Clause 3.8.3.8.(1)(c), c) be equipped with a seat lid or other back support, and d) where it has a tank, have a securely attached tank top. (See Note A-3.8.3.13.(1).) A-3.8.3.13.(1) Water Closets. Wall- or floor-mounted water closets with recessed bases are preferable because they provide the least amount of obstruction. Wheelchair users generally require a higher water closet seat to facilitate transfer from their chair to the water closet. Removable high-lift seats are not recommended in public washrooms as they could be removed or damaged by vandals. Permanently installed vandal resistant high-lift seats are available for installation on standard height water closets and these could be considered in place of the high bowl required.	
3.8.3.15. Lavatories and Mirrors	1) Lavatories required by Sentence 3.8.2.8.(7) shall a) be equipped with faucets complying with Sentence 3.7.2.3.(4), b) be located to provide a clear floor space in front of the lavatory of not less than 920 mm wide by 1 350 mm deep centered on the lavatory, c) have a rim height not more than 865 mm above the floor, d) have a clearance beneath the lavatory not less than i) 760 mm wide, ii) 735 mm high at the front edge, iii) 685 mm high at a point 250 mm back from the front edge, and iv) 250 mm high to a point 500 mm back from the front edge, e) have insulated water supply and drain pipes where these pipes are exposed (see Note A-3.8.3.15.(1)(f)), f) have a soap dispenser that i) is automatic, or ii) complies with Clause 3.8.3.8.(1)(c) and is located not more than 1100 mm above the floor, within 500 mm from the front of the lavatory (see Note A-3.8.3.15.(1)(f)).	
3.7.2.3. Lavatories	4) Lavatories required by Sentence (1) shall be equipped with faucets that a) operate automatically, or b) have a manual control that i) complies with Clause 3.8.3.8.(1)(c), ii) does not require the application of continuous force to maintain water flow, and iii) where metered, provides at least 10 s of water flow.	
3.8.3.8. Controls and Outlets	c) be operable i) with one hand in a closed fist position, without requiring tight grasping, pinching with fingers, or twisting of the wrist, and ii) unless otherwise stated, with a force not more than 22 N. 2) Mirrors required by Sentence 3.8.2.8.(8) shall be a) mounted with their bottom edge not more than 1000 mm above the floor, or b) fixed in an inclined position so as to be usable by a person using a wheelchair.	
3.8.3.11.(1)(e) and (f), Grab Bars.	e) be equipped with an L-shaped grab bar that i) is mounted on the side wall closest to the water closet, ii) has horizontal and vertical components not less than 760 mm long mounted with the horizontal component 750 mm to 850 mm above the floor and the vertical component 150 mm in front of the water closet. f) be equipped with either one grab bar at least 600 mm long and centred over the water closet, or two grab bars at least 300 mm long and located either side of the flush valve, that i) conform to Article 3.7.2.8., ii) are mounted on the rear wall, and iii) are mounted at the same height as the grab bar on the side wall or 100 mm above the top of the attached water tank, if applicable,	
3.7.2.8. Grab Bars	1) Grab bars shall a) be slip-resistant and free of any sharp or abrasive elements, b) be mounted on surfaces that are free of any sharp or abrasive elements, c) be able to resist a load of not less than 1.3 kN applied vertically or horizontally, d) be 30 mm to 40 mm in diameter, and e) where mounted on a wall, have a clearance of 35 mm to 45 mm from the wall.	



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CONSULTANTS

TRAVIS JOHNSON, GC

CLIENT

TRAVIS JOHNSON
YMIR COMMUNITY

REVISIONS

REVISION SCHEDULE		
1	23/07/10	ISSUED

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MASTER TEMPLATE

ADDRESS
7210 1 AVE, YMIR, B.C.

PROJECT #
23058

DATE
2023-09-25

REV.

DESIGNED BY ml

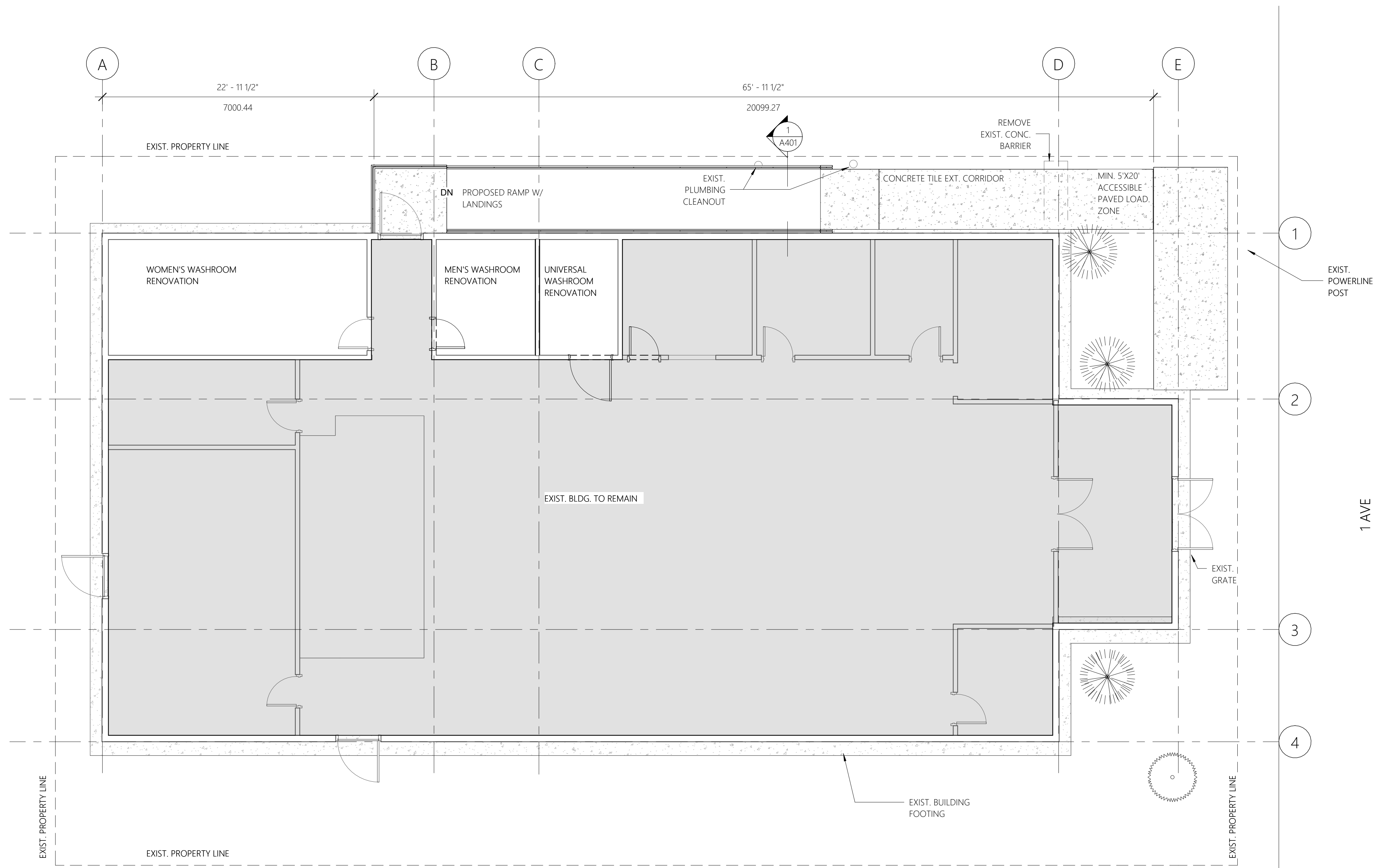
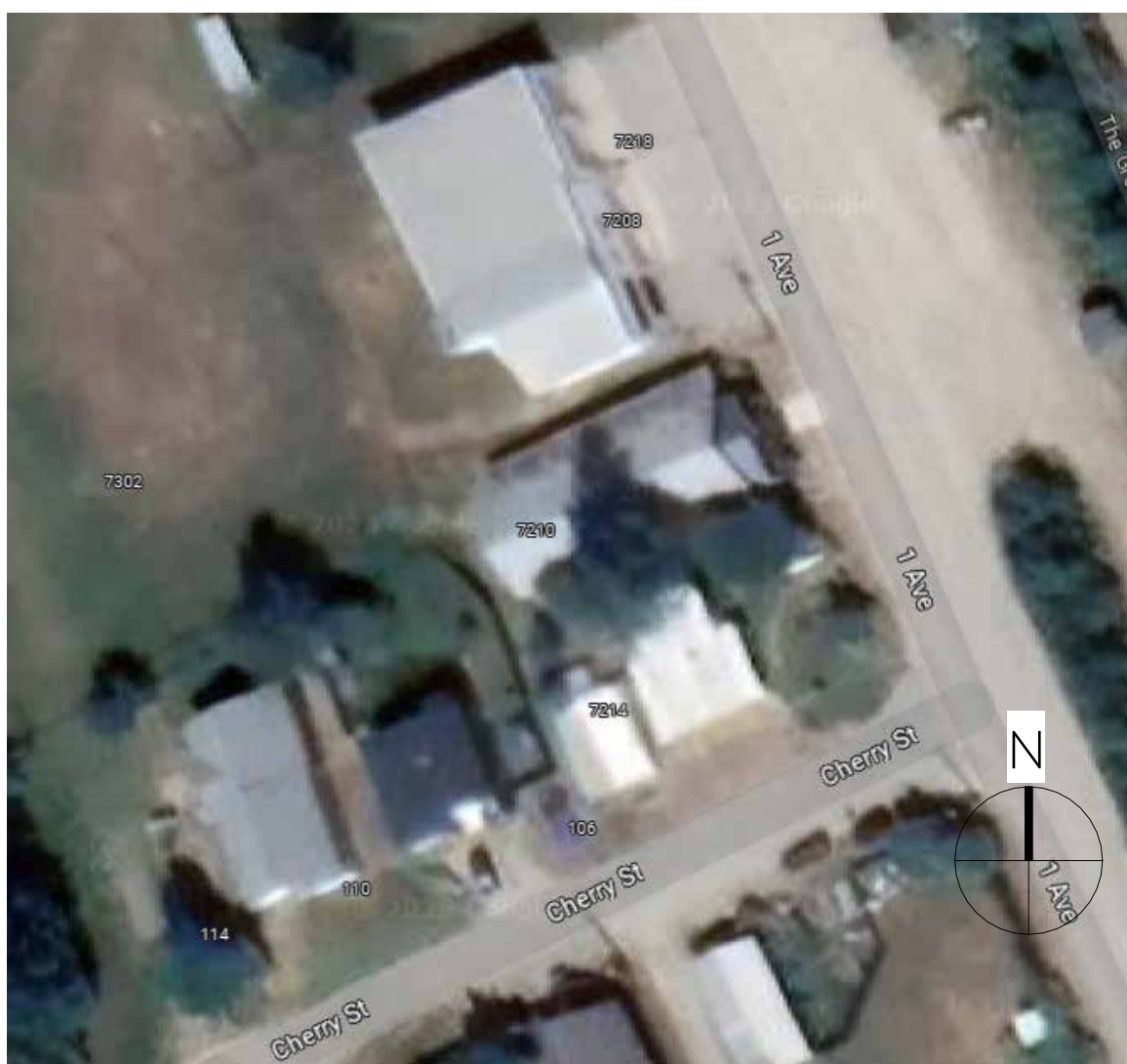
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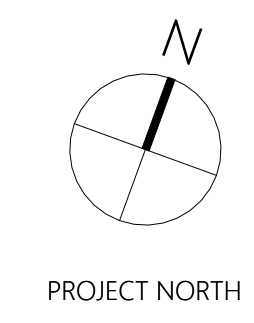
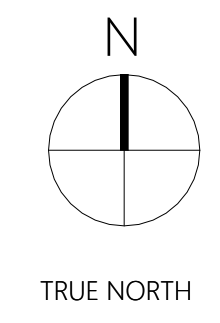
SHEET
CODE REVIEW & BYLAW REVIEW

A004

client, note, inst, available, projects by, may, engineering, ted, y, from, nction, ng, er, ings



1 SITE
3/16" = 1'-0"



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 TRAVIS JOHNSON
 YMIR COMMUNITY

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PROJECT #
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DATE
 2023-09-25

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DESIGNED BY ml
 CHECKED BY RS
 DRAWN BY ml/sm

SHEET
 SITE PLAN

A101

REVISIONS

REVISION SCHEDULE		
1	23/07/10	ISSUED
2	2023-09-25	Revision 2

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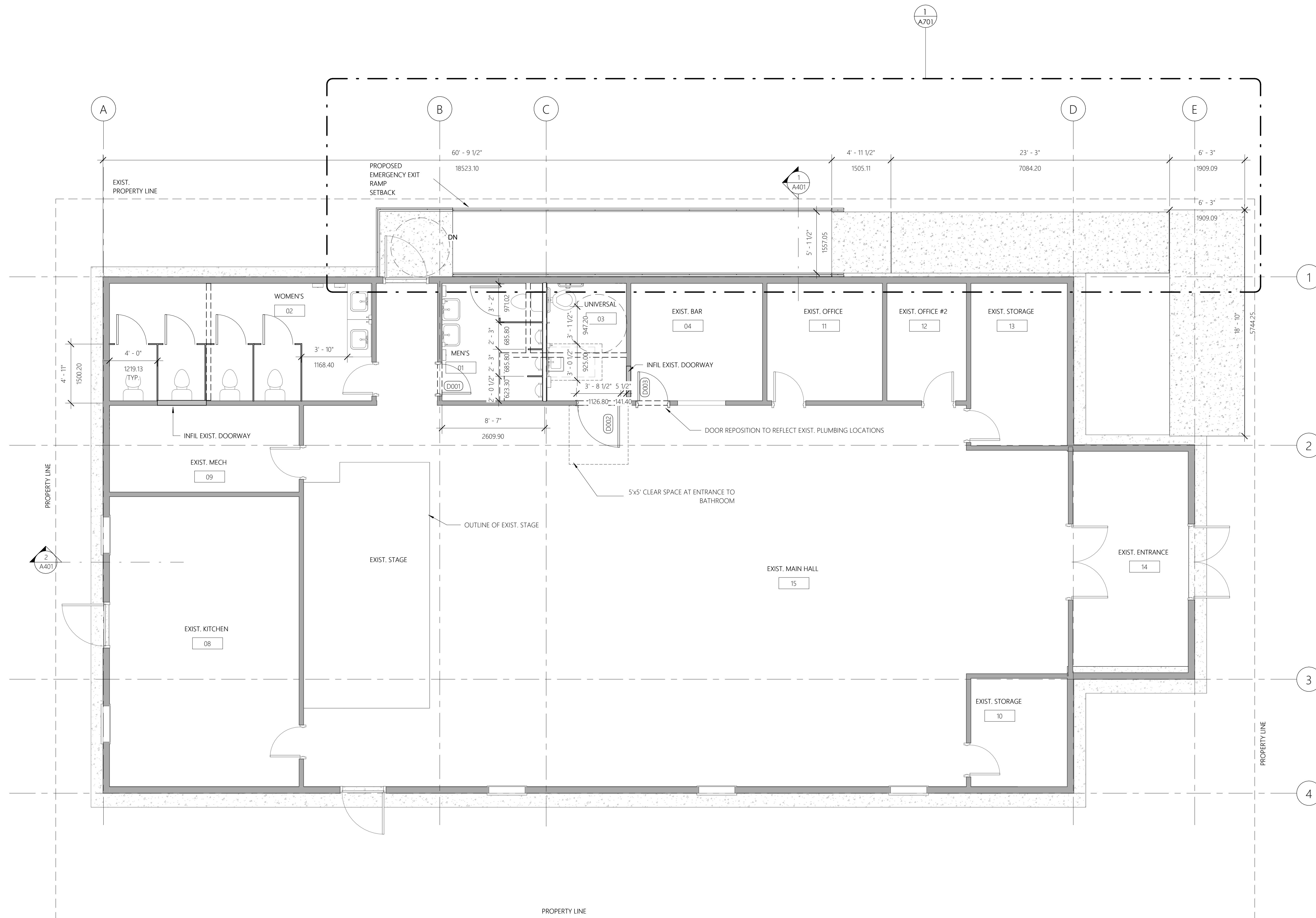
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DATE
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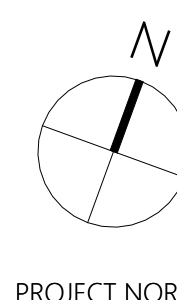
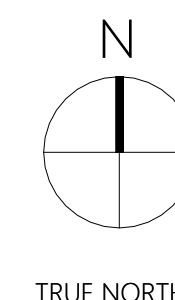
REV.
 2

DESIGNED BY ml
 CHECKED BY RS
 DRAWN BY ml/sm
 SHEET
 MAIN FLOOR PLAN

A201



1 MAIN FLOOR
 1/4" = 1'-0"





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CONSULTANTS

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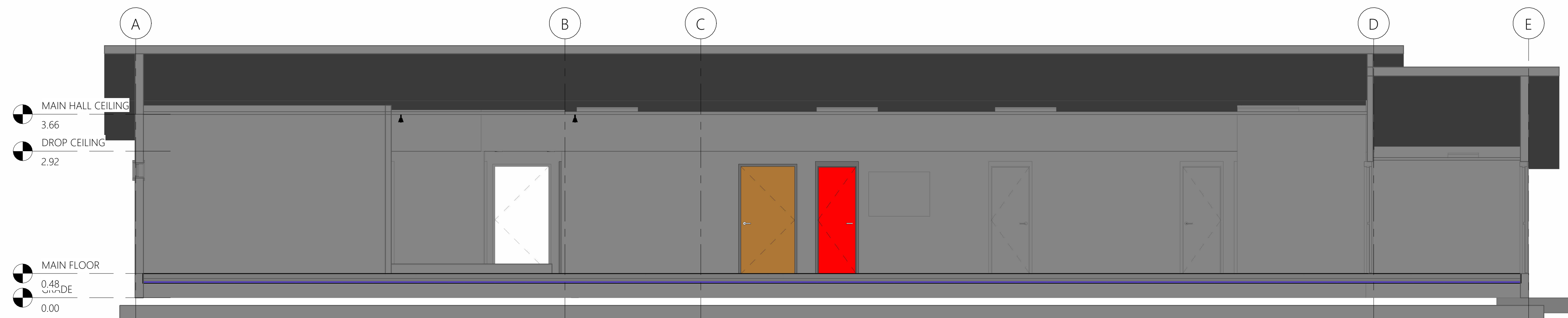
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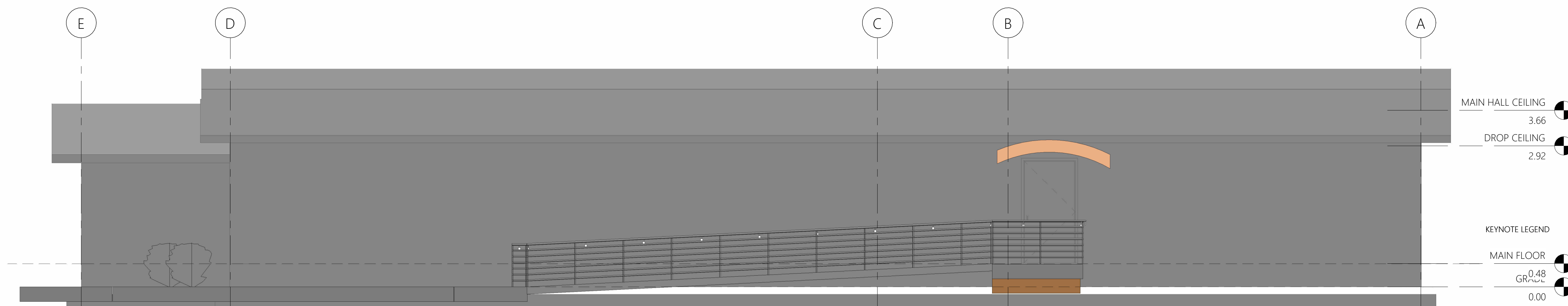
SHEET
 ELEVATIONS

A301

KEYNOTE LEGEND



2 INT. SOUTH
 1/4" = 1'-0"



1 NORTH
 1/4" = 1'-0"

CONSULTANTS

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TRAVIS JOHNSON
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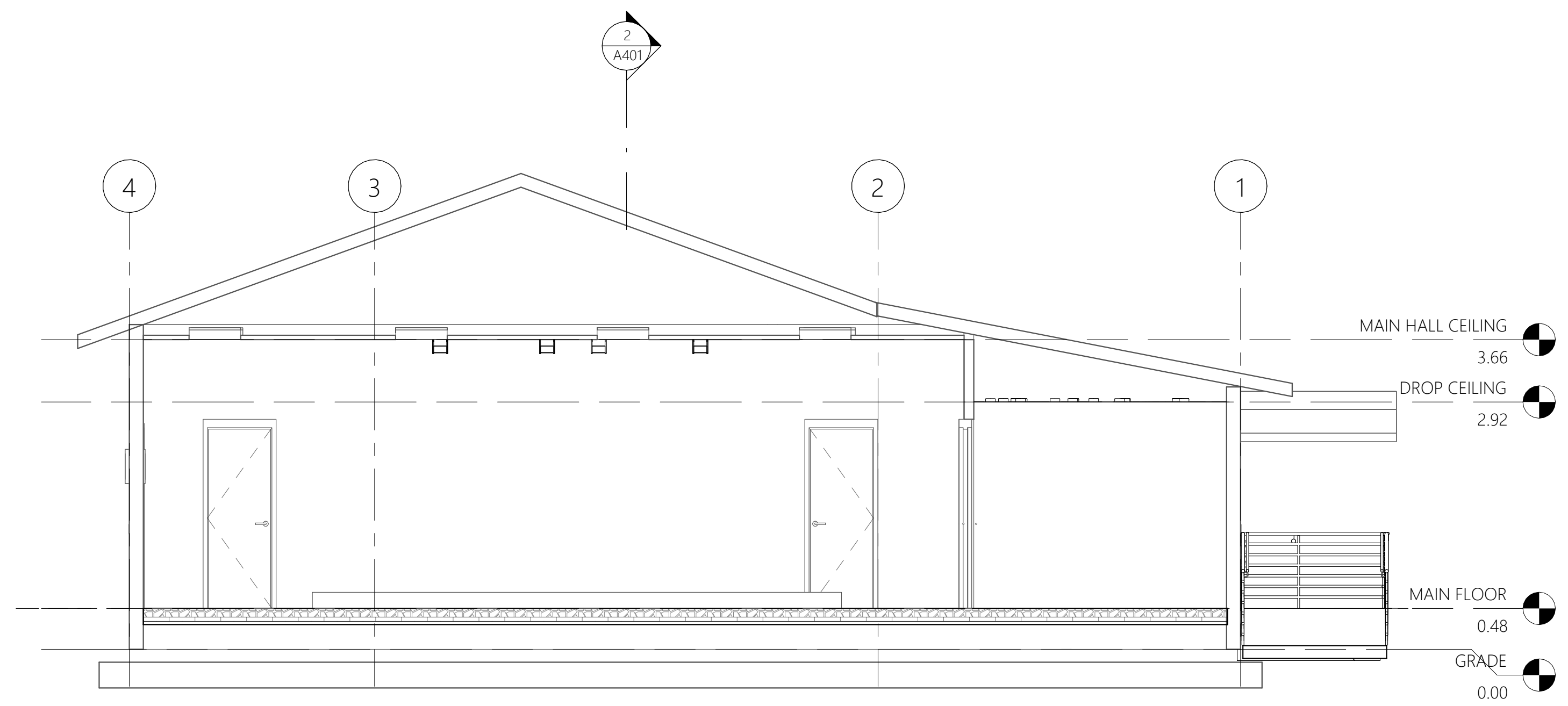
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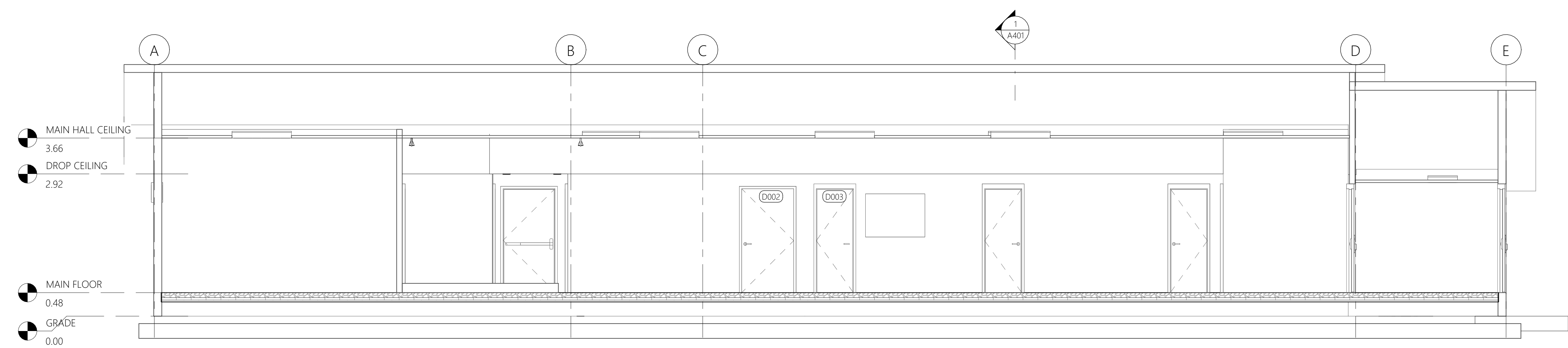
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 CHECKED BY RS
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SHEET
 BUILDING SECTIONS

A401



1 Section 1
 1/4" = 1'-0"



2 Section 2
 1/4" = 1'-0"

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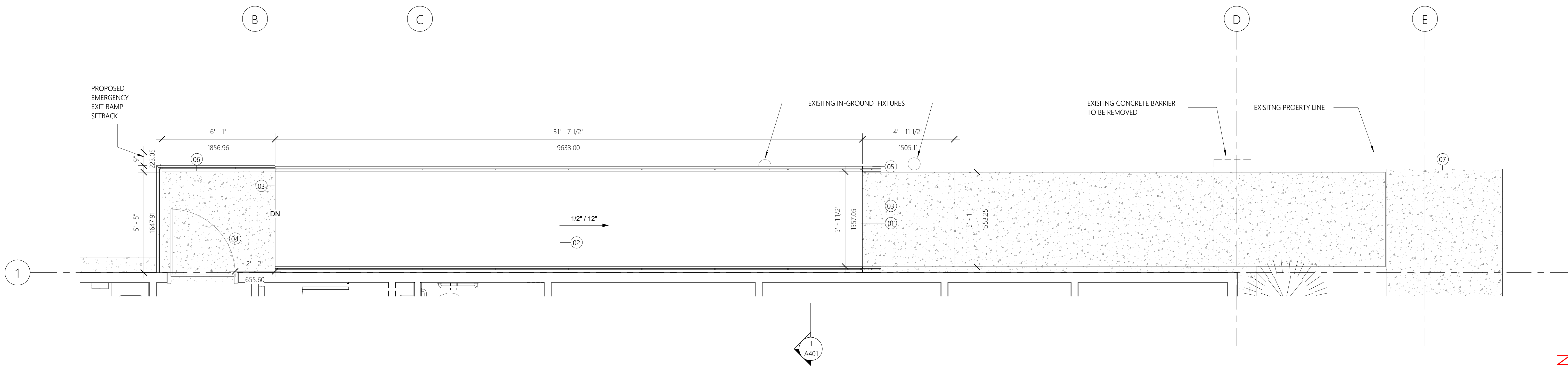
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 2023-09-25

REV.

DESIGNED BY Designer
 CHECKED BY Checker
 DRAWN BY Author

SHEET
 PLAN DETAILS

A701

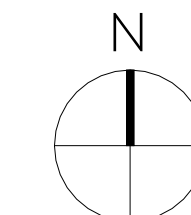


1 RAMP PLAN
 3/8" = 1'-0"

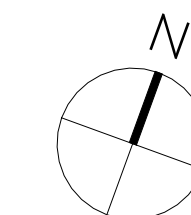
KEYNOTE LEGEND

- 01 3.8.3.5 - A) CLEAR WIDTH OF APPROACH AT TOP AND BOTTOM OF RAMP TO BE NOT LESS THAN 1500MM/4'9"
- 02 3.8.3.5 - B) SLOPE NOT LESS THAN 1 IN 12, 1 IN 20 FOR DISTANCES OVER 3M
- 03 3.8.3.5 - C) HAVE A LEVEL SPACE NOT LESS THAN 1500X1500MM AT TOP AND BOTTOM.
- 04 3.8.3.5 - C) i) LEVEL AREA TO EXTEND 600MM BEYOND LATCH SIDE EDGE OF DOOR WHERE DOOR OPENS TOWARDS RAMP.
- 05 3.8.3.5 - (I) B) HANDRAILS TO HAVE MIN 300MM TERMINATION WHICH WILL NOT OBSTRUCT PEDESTRIAN TRAVEL OR CREATE AN OBSTRUCTION.
- 06 MIN 2% SLOPE AWAY FROM BUILDING FOR WATER DRAINAGE
- 07 5'X5' CLEAR SPACE AT ENTRANCE TO BATHROOM

NOT FOR CONSTRUCTION



TRUE NORTH

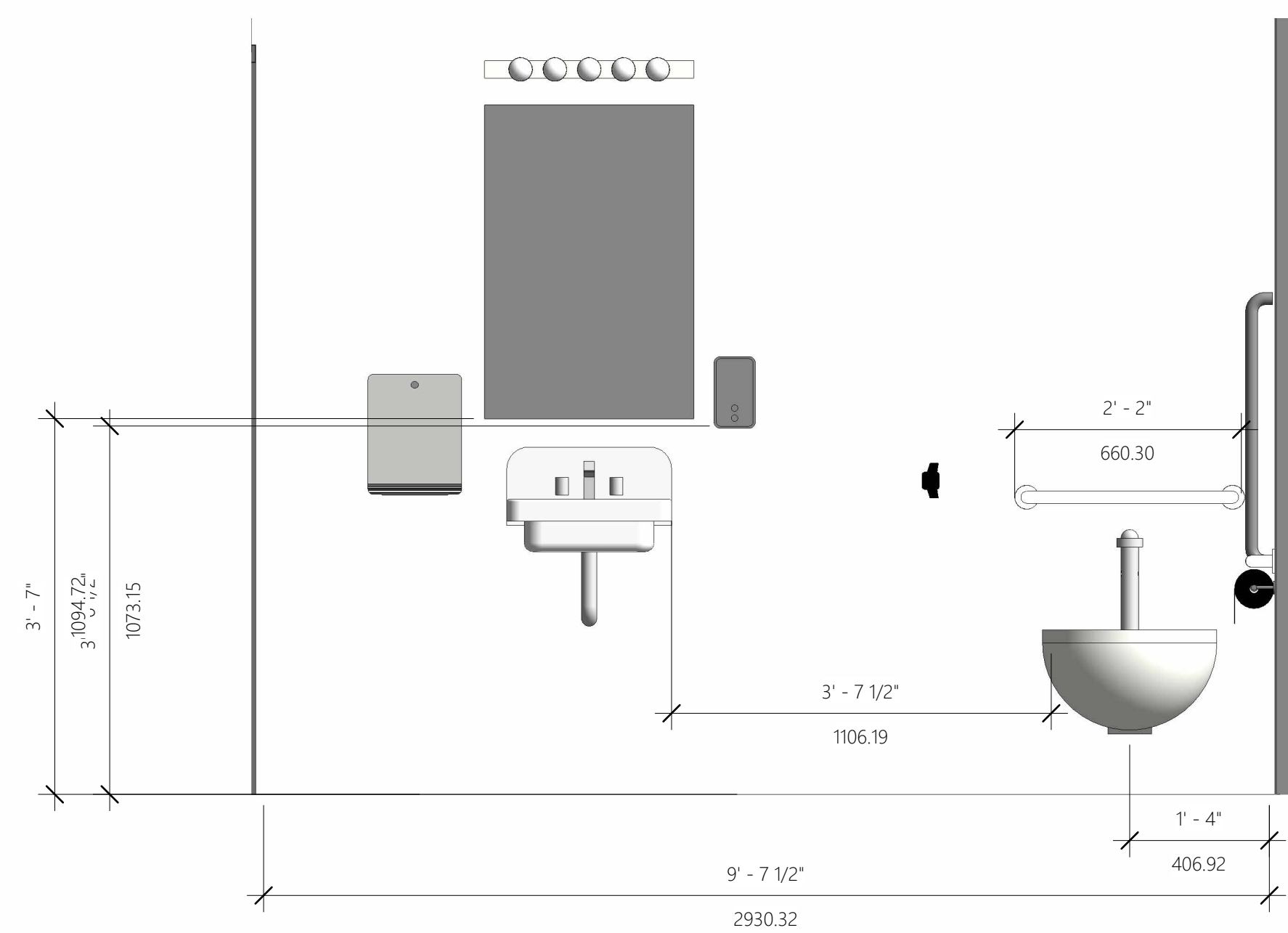


PROJECT NORTH

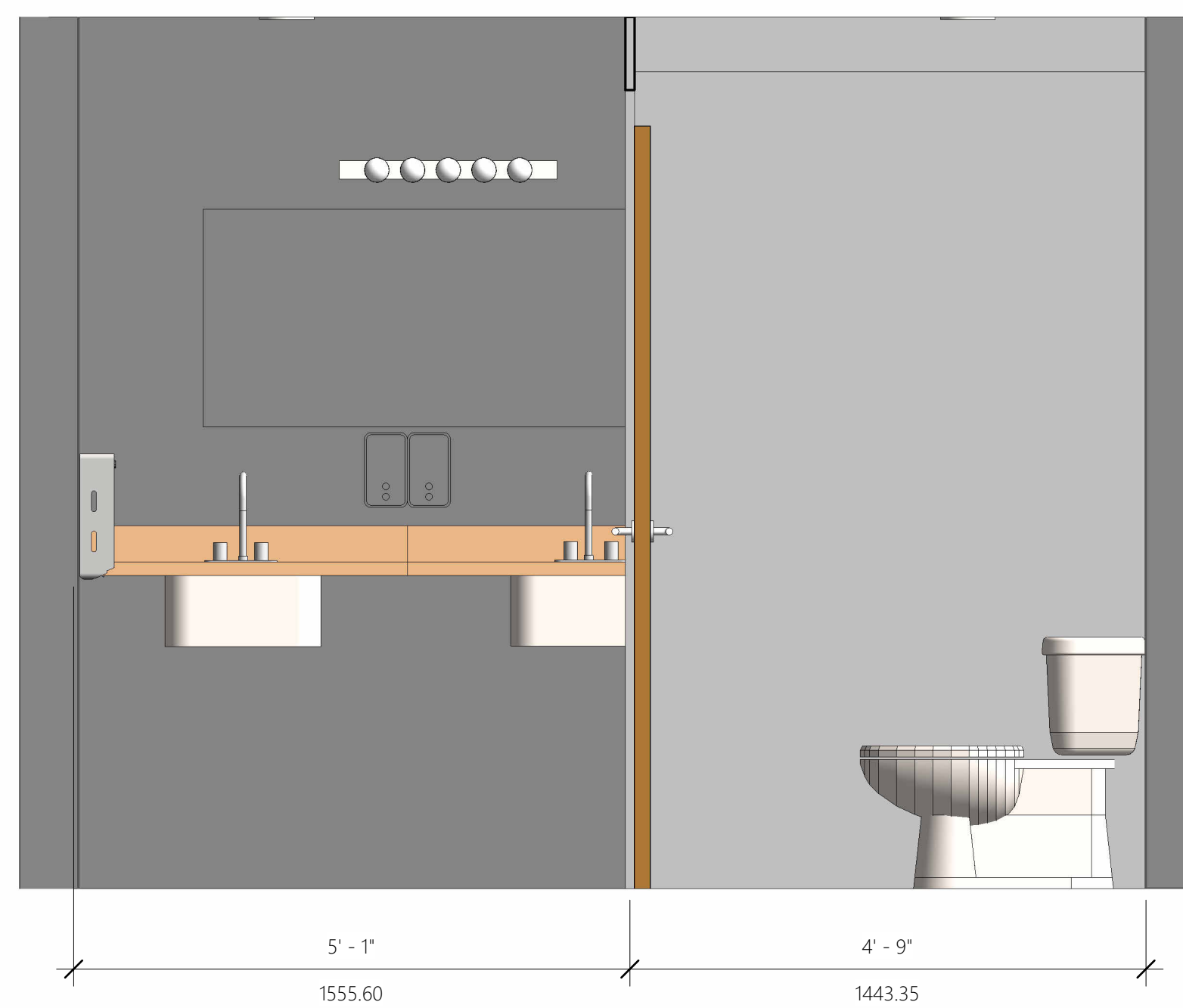
REVISIONS

REVISION SCHEDULE		
1	23/07/10	ISSUED

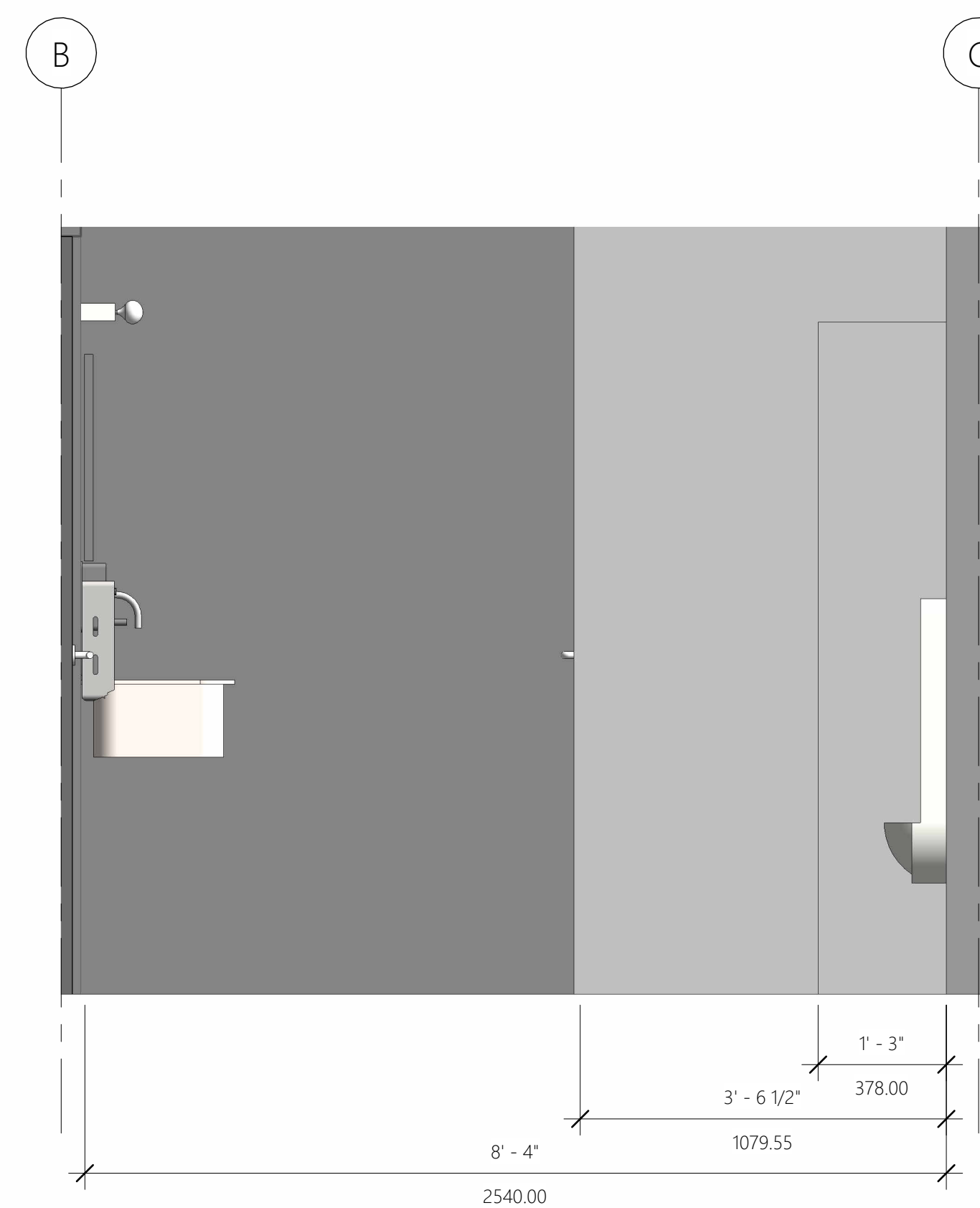
INT FINISHES SCHEDULE			
Number	Name	Area	Floor Finish
01	MEN'S	69.9 SF	VYL
02	WOMEN'S	137.7 SF	VYL
03	UNIVERSAL	64.9 SF	VYL
04	EXIST. BAR	107.5 SF	VYL
08	EXIST. KITCHEN	382.3 SF	VYL
09	EXIST. MECH	114.3 SF	VYL
10	EXIST. STORAGE	72.7 SF	VYL
11	EXIST. OFFICE	94.2 SF	VYL
12	EXIST. OFFICE #2	64.9 SF	VYL
13	EXIST. STORAGE	108.9 SF	VYL
14	EXIST. ENTRANCE	177.6 SF	VYL
15	EXIST. MAIN HALL	1967.3 SF	VYL



1 UNIVERSAL INT. ELEV.
 3/4" = 1'-0"



2 WOMEN'S INT. ELEV.
 3/4" = 1'-0"



3 MEN'S INT. ELEV.
 3/4" = 1'-0"

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